

# ROLLING HILLS UNITED METHODIST CHURCH

26438 CRENSHAW BLVD.  
ROLLING HILLS ESTATES, CA 90274

## PROJECT INFORMATION:

PROJECT DESCRIPTION: DEMOLITION OF EXISTING PRE-SCHOOL BUILDINGS, PROPOSED PRE-SCHOOL COMPLEX TO BE BUILT IN SAME AREA. ADDITION TO EXISTING ADMINISTRATION BUILDING AND RELOCATION OF DRIVEWAY.

STREET ADDRESS: 26438 CRENSHAW BLVD.  
ROLLING HILLS ESTATES, CA 90274

LEGAL DESCRIPTION: L.A.C.A. MAP NO. 51, POR. 17  
APN NUMBER: 7548-010-030

ZONING DISTRICT: INSTITUTIONAL

OCCUPANCY: PRE-SCHOOL: E  
ADMINISTRATION: B

CONSTRUCTION TYPE: TYPE VA

FIRE ZONE: VHFHSZ

NUMBER OF STORIES:

(E) PRE-SCHOOL BUILDINGS & ADMINISTRATION	1
PROPOSED PRE-SCHOOL BUILDINGS	2 + BASEMENT

AREA CALCULATIONS IN SF

ADMINISTRATION BUILDING	EXISTING	REMODELED	ADDITION	TOTAL
ADMIN. (B OCCUPANCY)	3,020	836	540	3,560

LENGTH OF DEMOLISHED WALL: 43'-8"

PRE-SCHOOL BUILDINGS	BASEMENT	FIRST	SECOND	TOTAL
BUILDING 1 (E OCCUPANCY)	0	2,445	1,240	3,685
BUILDING 2 (E OCCUPANCY)	1,360	1,735	2,056	5,151
BUILDING 3 (E OCCUPANCY)	0	2,685	0	2,688
TOTAL	-	-	-	11,524

EXCAVATION VOLUME CY:

CUT TOTAL	FILL TOTAL	TOTAL
-	-	-

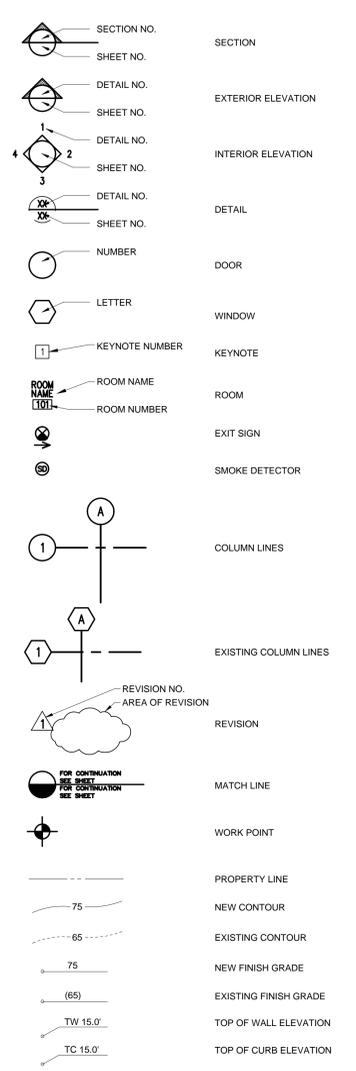
NET LOT AREA:	214,367 S.F. = 4.92 ACRES
LOT COVERAGE	28,828 S.F. = 13.45% (20% MAX.)
LANDSCAPING AREA	64,362 S.F. = 30.02% (30% REQ'D)
DRIVEWAY & PARKING COVERAGE	80,293 S.F.
PAVED WALKWAYS AND SERVICE AREAS	40,884 S.F.

	EXISTING	REMOVED	PROPOSED	TOTAL
PARKING SPACES	162	-	5	167

## ABBREVIATIONS:

A.C.	ASPHALT PAVING	MAX	MAXIMUM
A/C	AIR CONDITIONING	MECH	MECHANICAL
AL., ALUM	ALUMINUM	MED	MEDIUM
A.B.	ANCHOR BOLT	MBR	MEMBER
ARCH	ARCHITECT (URAL)	MET	METAL
ADJ.	ADJUSTABLE	MIN	MINIMUM
@	AT	MIR	MIRROR
		MISC	MISCELLANEOUS
BM	BEAM	NAT	NATURAL
B.MK	BENCH MARK	NOM	NOMINAL
BLK	BLOCK	NTC	NOT IN CONTRACT
BLKG	BLOCKING	N.L.C.	NOT TO SCALE
BD	BOARD	N.T.S.	NATURAL GRADE
BOT	BOTTOM	OA	OVERALL
B.W.	BOTTOM OF WALL	OH	OVERHEAD
CAB	CABINET	ON C	ON CENTER
CARPET	CARPET	OP	OPENING
C.B.	CATCH BASIN	OPP	OPPOSITE
CLG	CEILING	O.D.	OUTSIDE DIAMETER
CEM	CEMENT	O.S.	OVERFLOW SCUPPER
CER	CERAMIC TILE		
C.T.	CAST IRON	PNT	PAINTED
CLR	CLEAR	PTD	PAINTED
COL	COLUMN	PAR	PARALLEL
CONC	CONCRETE	PKG	PARKING
C.J.	CONTROL JOINT	PVMT	PAVEMENT
CONT.	CONTINUOUS	PLAS	PLASTER
		PLAM	PLASTIC LAMINATE
DTL	DETAIL	PL	PROPERTY LINE / PLATE
DIAG.	DIAGONAL	PL GL	PLUMING
DIM	DIMENSION	PLBG	PLUMBING
DSP	DISPOSAL	PWD	PRECAST CONCRETE
DIV	DIVISION	P.C.C	PERFORATED
DR	DOOR	PERR	PLYWOOD
DS	DOWNSPOUT		
DWR	DRAWER	RAD	RADIUS
DWG	DRAWING	REF	REFERENCE
E.J.	EXPANSION JOINT	REFR	REFRIGERATOR
ELEC	ELECTRIC	REG	REGISTER
EL	ELEVATION	REINF	REINFORCED
ELEV	ELEVATOR	RES	RETURN
EQ	EQUAL	R.A.	RETURN AIR
EXH	EXHAUST	REV	REVISED, REVISION
EXIST	EXISTING	R.H.	RIGHT HAND
EXT	EXTERIOR	RISER	RISER
EXP	EXPOSED	R.D.	ROOF DRAIN
		RF	ROOF
		RFG	ROOFING
		RM	ROOM
		R.O.	ROUGH OPENING
FIN.	FINISH	SCH	SCHEDULE
F.F.	FINISHED FLOOR	SECT	SECTION
F.A.	FIRE ALARM	S.F.	SQUARE FEET
F.E.	FIRE EXTINGUISHER	SHT	SHEET
F.E.C.	FIRE EXTINGUISHER CABINET	SIM	SIMILAR
F.G.	FINISH GRADE (LANDSCAPE)	S.C.	SOLID CORE
		S.P.	SOUND PROOF
FIXT	FIXTURE	SPEC	SPECIFICATION (S)
FLG	FLASHING	SQ	SQUARE
FLR	FLOOR	STOR	STAIR
F.D.	FLOOR DRAIN	S.D.	STORM DRAIN
FLUOR	FLUORESCENT	STRUCT	STRUCTURAL
FTG	FOOTING	SUSP	SUSPENDED
FND	FOUNDATION	SHWR	SHOWER
FUR	FURRED (RING)	T.O.C.	TOP OF CONCRETE
FAU	FORCED AIR UNIT	T.O.P.	TOP OF PARAPET
FOS	FACE OF STUD	T.C.	TOP OF CURB (CONCRETE)
FOM	FACE OF MASONRY	TEL	TELEPHONE
FOC	FACE OF CONCRETE	TV	TELEVISION
FHC	FIRE HOSE CABINET	THK	THICKNESS
FPL	FIREPLACE	T&G	TONGUE AND GROOVE
F.S.	FINISH SURFACE	T.W.	TOP OF WALL
		TREAD	TREAD
G.H.	GUEST HOUSE	TYP	TYPICAL
GA	Gauge	T.D.	TERRACE DRAIN
GALV	GALVANIZED	T.O.S.	TOP OF SHEATHING
G.C.	GENERAL CONTRACTOR	UNF.	UNFINISHED
GL	GLASS, GLAZING	U.N.O.	UNLESS NOTED OTHERWISE
GR	GRADE GRADING		
GYP	GYPSON	VEST	VESTIBULE
GYP BD	GYPSON BOARD	VERT	VERTICAL
		VIN	VINYL
HDW	HARDWARE	V.A.T.	VINYL ASBESTOS TILE
HWD	HARDWOOD	V.T.	VINYL TILE
HDR	HEADER	VIN.B.	VINYL BASE
HT	HEIGHT	WSP	WET STANDPIPE
H.C.	HOLLOW CORE	W/	WITH
H.M.	HOLLOW METAL	WSCR	WASHER
HOR	HORIZONTAL	W.C.	WATERCLOSET
H.B.	HOSE BIB	W.P.	WORK POINT
		W.W.F.	WELDED WIRE FABRIC
INCL	INCLUDE	W	WIDTH, WIDE
I.D.	INSIDE DIAMETER	W.D.W.	WIRED GLASS
INSUL	INSULATION	W.M.	WIRE MESH
INT	INTERIOR	W/O	WITHOUT
JT	JOINT	WD	WOOD
JST	JOIST	W.I.	WROUGHT IRON
KIT	KITCHEN	W.R.	WATER RESISTANT
		W.I.C.	WALK IN CLOSET
LAM	LAMINATED		
LAV	LAVATORY		
L.H.	LEFT HAND		
M.H.	MAIN HOLE		
M.F.	MASONRY FACE		
MFR	MANUFACTURER		
M.O.	MASONRY OPENING		

## SYMBOLS:



## SHEET INDEX:

- GENERAL**
- A-0.0 COVER SHEET
- SURVEY**
- 01
  - 02
- CIVIL**
- C-1.0 TITLE SHEET
  - C-2.0 GRADING & DRAINAGE PLAN
  - C-2.1 GRADING & DRAINAGE PLAN
- ARCHITECTURAL**
- A-1.0 SITE DEMO PLAN
  - A-1.1 SITE PLAN
  - A-1.2 LANDSCAPING DIAGRAMS / CALCULATIONS
  - A-2.0 BASEMENT FLOOR PLAN
  - A-2.1 PARTIAL FIRST FLOOR PLAN
  - A-2.2 PARTIAL FIRST FLOOR PLAN
  - A-2.3 PARTIAL SECOND FLOOR PLAN
  - A-2.4 PARTIAL SECOND FLOOR PLAN
  - A-2.5 PARTIAL ROOF PLAN
  - A-2.6 PARTIAL ROOF PLAN
  - A-3.0 SOUTH WING ELEVATIONS
  - A-3.1 EAST WING AND ELEVATOR ELEVATIONS
  - A-3.2 NORTH WING ELEVATIONS
  - A-3.3 EAST WING ELEVATIONS
  - A-3.4 ADMINISTRATION BUILDING ELEVATIONS
- LIGHTING DESIGNER**
- 1 OF 3 PHOTOMETRIC VIEW
  - 2 OF 3 PHOTOMETRIC PLAN
  - 3 OF 3 PHOTOMETRIC PLAN

## PROJECT DIRECTORY:

**OWNER**

NAME: R.H. UNITED METHODIST CHURCH  
CONTACT: JONATHAN CHUTE  
ADDRESS: 26438 CRENSHAW BLVD, SUITE 100  
ROLLING HILLS ESTATES, CA 90274  
PHONE: 310.377.6771  
E-MAIL: jonathan@rhmc.org

**CONTRACTOR**

NAME: DEL AMO CONSTRUCTION INC.  
CONTACT: 23840 MADISON ST.  
TORRANCE, CA 90505  
PHONE: 310.378.6203  
FAX: 310.378.4663  
E-MAIL:

**ARCHITECT**

NAME: JOSEPH SPIERER ARCHITECTS  
CONTACT: JOSEPH SPIERER, AIA  
ADDRESS: 707 TORRANCE BLVD, SUITE 100  
REDONDO BEACH, CA 90277  
PHONE: 310.876.8761  
E-MAIL: joe@calarchitect.com

**STRUCTURAL ENGINEER**

NAME: JLA  
CONTACT: JOHN LABIE  
ADDRESS: 209 E. EL SEGUNDO BLVD  
TORRANCE, CA 90505  
PHONE: 213.299.9600  
E-MAIL: john@labie.com

**CIVIL ENGINEER**

NAME: JMC-2  
CONTACT: KATIE KIM  
ADDRESS: 411 N. HARBOR BLVD., SUITE 201  
TORRANCE, CA 90503  
PHONE: 310.241.6550  
E-MAIL:

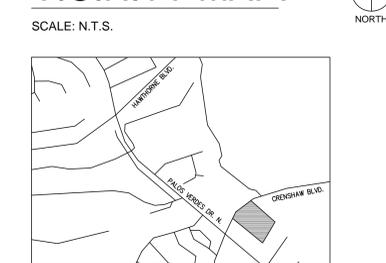
**SURVEYOR**

NAME: HMK ENGINEERING INC.  
CONTACT: ADDRESS: 1552 EIGHTEENTH STREET  
TORRANCE, CA 90505  
PHONE: 310.449.5511  
E-MAIL:

**LIGHTING DESIGNER**

NAME: NIKOLAKOPOULOS, INC.  
CONTACT: ROGER HENDERSON  
ADDRESS: 2780 SKYPARK DR., SUITE 280  
TORRANCE, CA 90505  
PHONE: 310.530.7277  
E-MAIL: roger@nikolakopoulos.com

## VICINITY MAP:



JOSEPH SPIERER ARCHITECTS  
707 TORRANCE BLVD., SUITE 100, REDONDO BEACH, CA, 90277  
T. (310) 876-8761 www.calarchitect.com joe@calarchitect.com



UNITED METHODIST CHURCH PHASE 2

REVISION LOG

DELTA NO.	DATE
1	
2	
3	
4	



DATE: 5/9/14  
DRAWN: --  
JOB #: 12-036  
SHEET NO.

A-0.0

DD SET

**TITLE REPORT NOTES**

THE EFFECTS OF EASEMENTS SHOWN IN OLD REPUBLIC TITLE COMPANY POLICY NO. 2607098390-10 DATED MARCH 23, 2010 ARE DELINEATED HEREON UNLESS OTHERWISE NOTED:

- 4 AN EASEMENT TO PALOS VERDES WATER COMPANY FOR LAYING AND MAINTAINING WATER PIPES IN THE DOCUMENT RECORDED FEBRUARY 14, 1942 IN BOOK 19125 PAGE 206 OF OFFICIAL RECORDS. AS SHOWN ON SURVEY.
- 6 AN EASEMENT TO PALOS VERDES WATER COMPANY FOR ROAD PURPOSES IN THE DOCUMENT RECORDED AUGUST 16, 1951 IN BOOK 37008 PAGE 233 OF OFFICIAL RECORDS. AS SHOWN ON SURVEY.
- 7 AN EASEMENT TO PALOS VERDES WATER COMPANY FOR PIPE LINES IN THE DOCUMENT RECORDED AUGUST 16, 1951 IN BOOK 37008 PAGE 262 OF OFFICIAL RECORDS. AS SHOWN ON SURVEY.
- 8 AN EASEMENT TO PALOS VERDES WATER COMPANY FOR CONSTRUCTION, MAINTAINING, REPLACING AND OPERATING A BOOSTER PUMP WITH NECESSARY EQUIPMENT, WATER PIPES, CONNECTION VALVES AND FITTINGS IN THE DOCUMENT RECORDED AUGUST 16, 1951 IN BOOK 37008 PAGE 252 OF OFFICIAL RECORDS. AS SHOWN ON SURVEY.
- 9 AN EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR POLE LINES IN THE DOCUMENT RECORDED SEPTEMBER 25, 1951, IN BOOK 37277 PAGE 359 AS INSTRUMENT NO. 2514 OF OFFICIAL RECORDS. AS SHOWN ON SURVEY.
- 14 AN EASEMENT TO CITY OF ROLLING HILLS ESTATES FOR PUBLIC ROAD AND HIGHWAY PURPOSES RECORDED NOVEMBER 6, 1964 IN OFFICIAL RECORDS AS INSTRUMENT NO. 5741. AS SHOWN ON SURVEY.
- 18 AMENDED EASEMENT FOR COMMON DRIVEWAY AND FIRE LANE PURPOSES EXECUTED BY MISS DAWN'S SCHOOL, INC. DBA ROLLING HILLS COUNTRY DAY SCHOOL AND ROLLING HILLS UNITED METHODIST CHURCH, A CORPORATION RECORDED AUGUST 5, 1993 IN OFFICIAL RECORDS AS INSTRUMENT NO. 93-1518493. AS SHOWN ON SURVEY.

THE EFFECTS OF TAXES, LIENS, COVENANTS, CONDITIONS AND RESTRICTIONS, EFFECTS OF RECITAL, MORTGAGES, DEEDS OF TRUST AND UNRECORDED LEASES AS DISCLOSED BY ITEM NOS 1 THROUGH 3, 5, 10 THROUGH 13, 15 THROUGH 17, 19, 20, AND 22 THROUGH 25 ARE INDETERMINABLE AND THEREFORE NOT SHOWN ON THIS SURVEY.

**LEGAL DESCRIPTION**

REAL PROPERTY IN THE CITY OF ROLLING HILLS ESTATES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 17 OF L.A.C.A. No. 51, IN THE CITY OF ROLLING HILLS ESTATES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 1 OF ASSESSOR'S MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS:

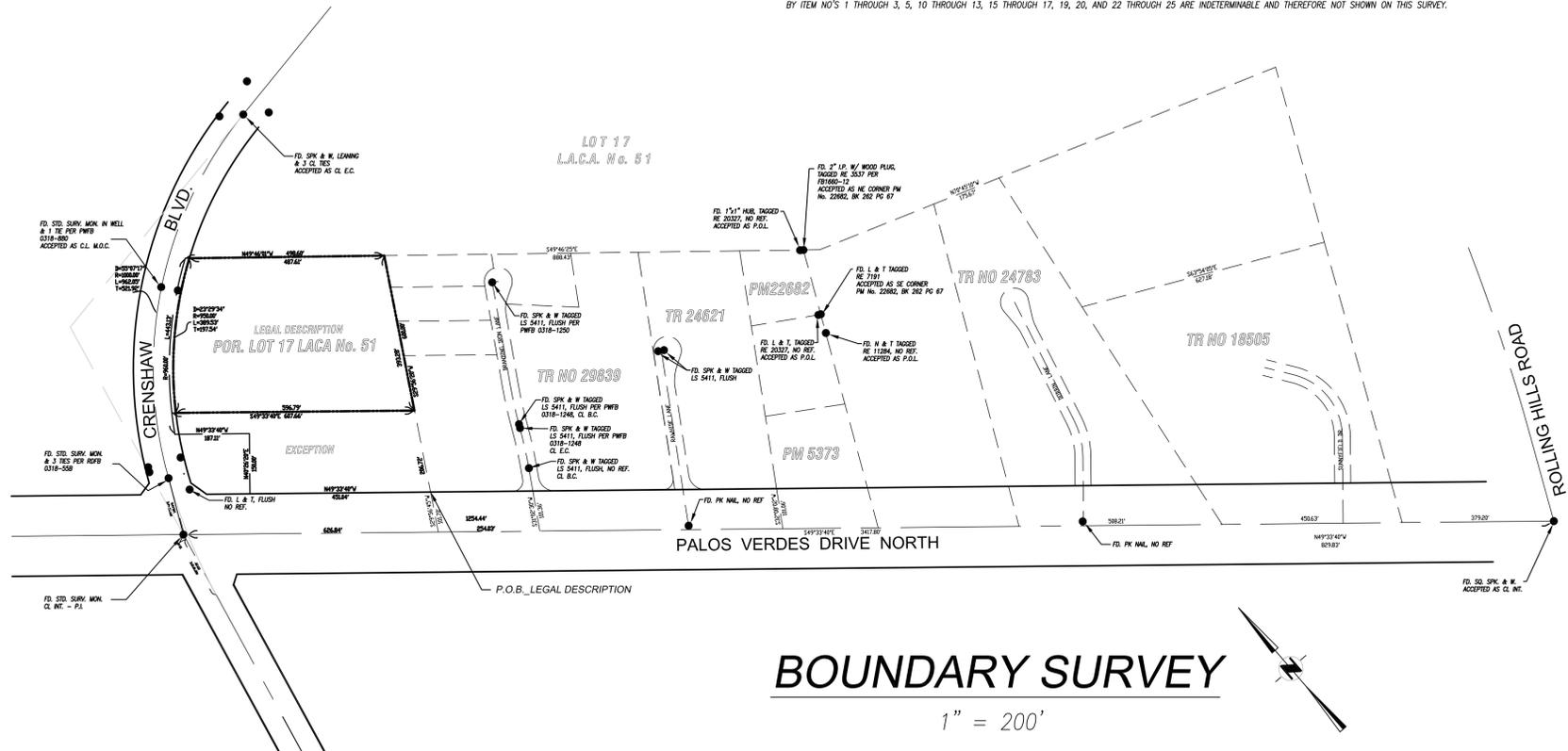
BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 17;  
 THENCE ALONG THE SOUTHWESTERLY BOUNDARY THEREOF, NORTH 49°33'40" WEST 451.04 FEET;  
 THENCE NORTH 40°26'20" EAST 150.00 FEET;  
 THENCE NORTH 49°33'40" WEST 187.11 FEET TO A POINT IN THE SOUTHEASTERLY BOUNDARY OF CRENSHAW BOULEVARD, 80 FEET WIDE, AS DESCRIBED IN DEED TO COUNTY OF LOS ANGELES, RECORDED IN BOOK 32445/PAGE 154, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND AS SHOWN ON COUNTY SURVEYOR'S MAP B-1504, SHEET 1, ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR'S OF SAID COUNTY, SAID COUNTY BEING A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 960.00 FEET, A RADIAL LINE OF WHICH PASSING THROUGH SAID LAST MENTIONED POINT BEARS NORTH 58°50'24" WEST;  
 THENCE NORTHEASTERLY ALONG SAID CURVE 443.13 FEET TO A POINT IN THE NORTHEASTERLY BOUNDARY OF SAID LOT 17;  
 THENCE ALONG NORTHEASTERLY AND SOUTHEASTERLY BOUNDARY OF SAID LOT 17, SOUTH 49°46'01" EAST 498.60 FEET AND SOUTH 29°56'20" WEST 600.00 FEET TO THE POINT OF BEGINNING.

EXCEPT AND EXCLUDING THE PORTION OF SAID LOT 17 OF L.A.C.A. No. 51, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 17;  
 THENCE ALONG THE SOUTHWESTERLY BOUNDARY THEREOF, NORTH 49°33'40" WEST 451.04 FEET;  
 THENCE NORTH 40°26'20" EAST 150.00 FEET;  
 THENCE NORTH 49°33'40" WEST 187.11 FEET TO A POINT IN THE SOUTHEASTERLY BOUNDARY OF CRENSHAW BOULEVARD, 80 FEET WIDE, AS DESCRIBED IN DEED TO COUNTY OF LOS ANGELES, RECORDED IN BOOK 32445/PAGE 154, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND AS SHOWN ON COUNTY SURVEYOR'S MAP B-1504, SHEET 1, ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR'S OF SAID COUNTY, SAID COUNTY BEING A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 960.00 FEET, A RADIAL LINE OF WHICH PASSING THROUGH SAID LAST MENTIONED POINT BEARS NORTH 58°50'24" WEST;  
 THENCE NORTHEASTERLY ALONG SAID CURVE 53.75 FEET TO A LINE PARALLEL WITH SAID SOUTHWESTERLY BOUNDARY OF SAID LOT 17;  
 THENCE SOUTH 49°33'40" EAST ALONG SAID PARALLEL LINE, 807.65 FEET TO THE SOUTHEASTERLY BOUNDARY OF SAID LOT;  
 THENCE SOUTH 29°56'20" WEST ALONG SAID SOUTHEASTERLY BOUNDARY, 206.72 FEET TO THE POINT OF BEGINNING.

APN 7548 - 010 - 030

SITE CONTAINING APPROXIMATELY 214,367 SQUARE FEET OR 4.92 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



**BOUNDARY SURVEY**

1" = 200'

**BOUNDARY DATUM**

ESTABLISHED FROM THE LOCAL CITY OR COUNTY ENGINEERING BUREAU'S BOUNDING MONUMENTED CENTERLINES OR FROM POINTS OR RECORD AS SHOWN. IF ELEVATIONS ARE SHOWN, THEY ARE FOR INFORMATION ONLY AND ARE NOT FOR CERTIFICATION OF GRADE, DRAINAGE OR ANY OTHER ITEM WHICH MAY BE CONNECTED TO VERTICAL DATUM.

**BENCH MARK**

L&DPW TAG IN N'LY CB 300MM (1FT) E/O BCRO NE COR PALOS VERDES DR N & CRENSHAW BL.  
 BM# Y 12186 ELEV: 424.891 ADJ. 2005

**BASIS OF BEARINGS**

THE BEARING NORTH 49° 33' 40" WEST OF THE CENTERLINE OF PALOS VERDES DRIVE NORTH AS SHOWN ON TRACT NO. 29839, AS FILED IN BOOK 739 PAGES 20 TO 21 OF MAPS, RECORDS OF LOS ANGELES COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**PARKING NOTE**

THERE EXIST 147 PARKING SPACES ON THE SUBJECT PROPERTY. (INCLUDING 6 BARRIER FREE SPACES)

**STRUCTURE AND BUILDING NOTES**

BUILDING SQUARE FOOTAGES ARE BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE, NOT INTERIOR USABLE FLOOR SPACE, AND IS APPROXIMATE ONLY.

**FLOODPLAIN NOTE**

ROLLING HILLS ESTATES, CA  
 COUNTY: LOS ANGELES  
 ASSESSOR PARCEL #: 7548 - 010 - 030  
 FLOOD ZONE: X  
 COMMUNITY NAME: ROLLING HILLS ESTATES  
 COMMUNITY #: 065054  
 COMMENT: --  
 MAP NUMBER: 06037C-1940 F  
 MAP DATE: SEPT. 26, 2008

**ZONING NOTE**

LOCAL ZONING: I (INSTITUTIONAL)  
 GENERAL PLAN: I (PLANNING AREA 2)  
 SPECIFIC PLAN: NO

**LEGEND OF SYMBOLS**

- [Symbol] SIGNAL LIGHT
- [Symbol] STREET LIGHT
- [Symbol] FIRE HYDRANT
- [Symbol] WATER VALVE
- [Symbol] CHAIN LINK FENCE
- [Symbol] WOOD/WROUGHT IRON FENCE
- [Symbol] BUILDING OUTLINE
- [Symbol] EASEMENT CALL OUT PER TITLE REPORT
- [Symbol] POWER POLE
- [Symbol] RETAINING WALL
- [Symbol] GARDEN WALL
- [Symbol] FOUND MONUMENT
- [Symbol] DETECTOR CHECK
- [Symbol] WATER METER, PULLBOX OR VAULT
- [Symbol] PLANTER ISLAND
- [Symbol] LIGHT POLE
- [Symbol] NO. OF PARKING SPACES (N ROW)
- [Symbol] PROPERTY LINE
- [Symbol] SETBACK LINE

**SURVEYOR'S STATEMENT**

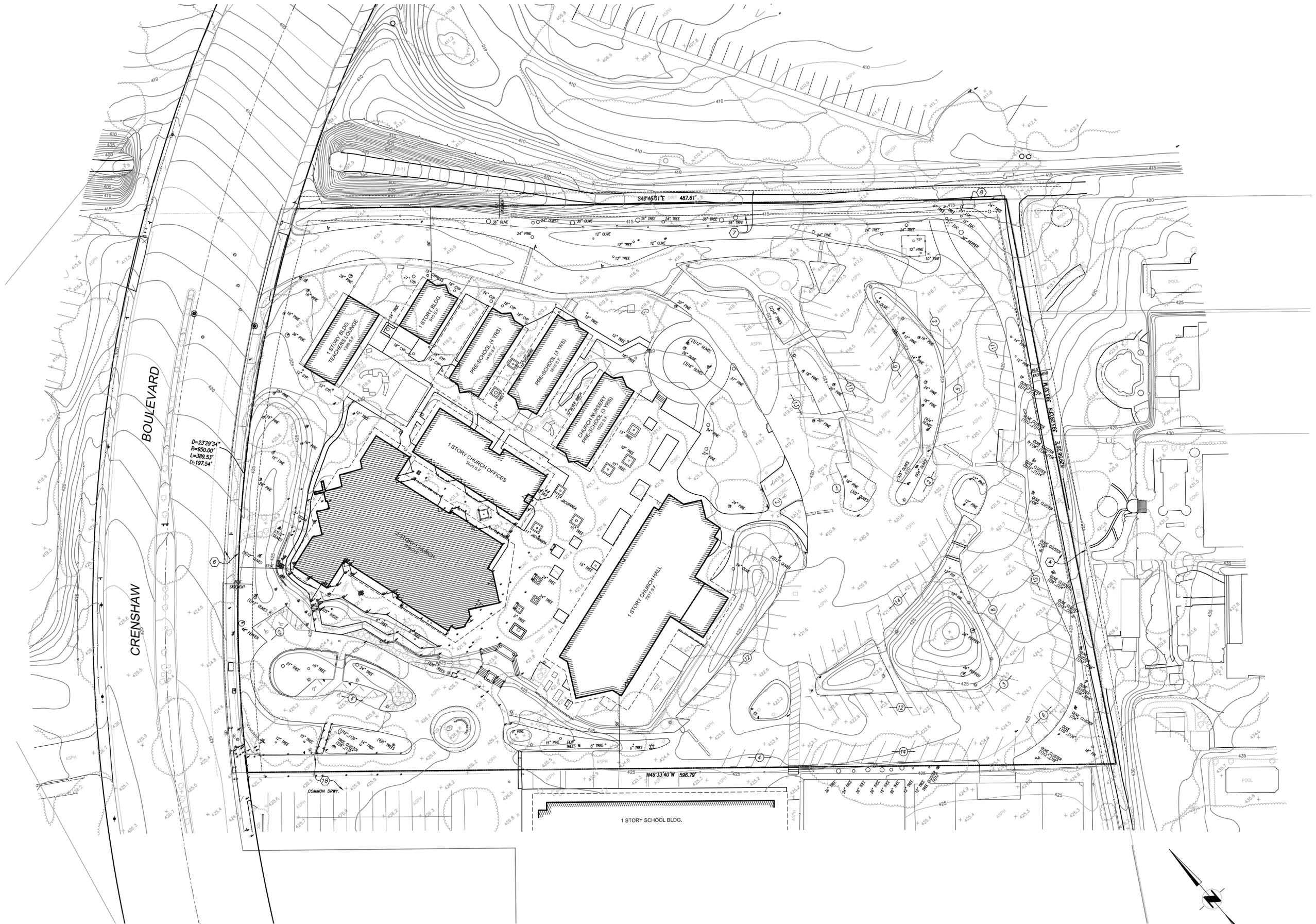
CERTIFIED TO: ROLLING HILLS METHODIST CHURCH, A CALIFORNIA NON-PROFIT CORPORATION  
 OLD REPUBLIC TITLE COMPANY

- THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH ALL APPLICABLE LAWS REGULATING SURVEYING IN THE STATE OF CALIFORNIA AND WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDED ITEMS 1, 2, 3, 4, 6, 7, 8, 9, 10, 11(C), 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT, IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
- THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SUBJECT PROPERTY EXCEPT AS SHOWN HEREON; AND THERE ARE NO PARTY WALLS.
- THE SUBJECT PROPERTY IS THE SAME AS THE PROPERTY DESCRIBED IN THAT CERTAIN PRELIMINARY REPORT TITLE COMMITMENT NO. 2607098390-10 ISSUED BY OLD REPUBLIC TITLE COMPANY WITH AN EFFECTIVE DATE OF MARCH 23, 2010 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID PRELIMINARY TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SUBJECT PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION BY FEMA OF "X," ON FLOOD INSURANCE RATE MAP NO. 06037C-1940 F IN LOS ANGELES COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.



MARK D. HARDY L.S. 5440 EXP. 9/30/2010 DATE

ARCHITECTURAL SURVEY WITH TOPOGRAPHY  
 PORTION OF LOT 17 OF L.A.C.A. MAP No. 51  
 CITY OF ROLLING HILLS ESTATES  
 SHEET 1 OF 3 SHEETS  
 W.C. 10-868  
 ROLLING HILLS UNITED METHODIST CHURCH  
 26438 CRENSHAW BOULEVARD  
 ROLLING HILLS ESTATES, CALIFORNIA  
 CIVIL ENGINEERS • LAND SURVEYORS • LAND PLANNERS  
 1552 EIGHTEENTH STREET  
 SANTA MONICA, CA 90404  
 PHONE (310) 449-5511  
**HMK**  
 ENGINEERING  
 INC.



PALOS VERDES DRIVE NORTH

SCALE: 1"=30'

<p><b>HMK</b> ENGINEERING INC.</p> <p>CIVIL ENGINEERS • LAND SURVEYORS • LAND PLANNERS 1552 EIGHTEENTH STREET SANTA MONICA, CA 90404 PHONE (310) 449-5511</p>	<p>ROLLING HILLS UNITED METHODIST CHURCH 26438 CRENSHAW BOULEVARD ROLLING HILLS ESTATES, CALIFORNIA</p>	<p>ARCHITECTURAL SURVEY WITH TOPOGRAPHY PORTION OF LOT 17 OF L.A.C.A. MAP No. 51 CITY OF ROLLING HILLS ESTATES</p>	<p>DATE</p> <p>NO.</p> <p>DESCRIPTION</p>
	<p>SHEET 2 OF 3 SHEETS</p> <p>NO. 10-866</p>		

NOTICE TO CONTRACTORS

GENERAL NOTES:

- 1. All grading and construction shall conform to the latest City of Rolling Hills Estates Building Codes unless otherwise specifically noted on these plans.
2. Any modifications or changes in approved grading plans must be approved by the Building Official.
3. Grading shall not be started without first notifying the Grading Inspector.
4. Approval of these plans reflect solely the review of plans in accordance with the City of Rolling Hills Estates Codes and does not reflect any position by the City of Rolling Hills Estates or the Department of Public Works.
5. All grading and construction activities shall comply with City of Rolling Hills Estates Code, that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:30 AM, and on Sundays and Holidays.
6. California Public Resources Code (Section 5097.98) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains.
7. The location and protection of all utilities is the responsibility of the Permittee.
8. Export soil must be transported a legal dump or a permitted site shown clearly on approved plans and/or approved by the Building Official.
9. A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site.
10. Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field Engineer or licensed surveyor.
11. No grading or construction shall occur within the protected zone of any oak tree.
12. The standard retaining wall details shown on the grading plans are for reference only.
13. A preventive program to protect the slopes from potential damage from burrowing rodents is required.
14. Separate plans for temporary drainage and erosion control measure to be used during the rainy season must be submitted prior to October 1.
15. Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work.
15a. The Grading Contractor shall submit a written statement verifying that the work done under his direction was performed in accordance with the approved plans and requirements of the City building code or describing all variances from the approved plans and requirements of the code.
15b. The Design Engineer verifies that this grading plan was prepared under my supervision in accordance with the City Building Code. All soils engineer and engineering geology recommendations were incorporated in plan. (Must be signed and dated by the Design Engineer)

INSPECTION NOTES

- 16. The permittee or his agent shall notify the Building Official 24 hours before the grading operation is ready for each of the inspections:
(a) Initial Inspection - When the permittee is ready to begin work and before any grading or brushing is started.
(b) Top Inspection - After the natural ground is exposed and prepared to receive fill and before any fill is placed.
(c) Excavation Inspection - After the excavation is started and before the depth of excavation exceeds 10 feet.
(d) Fill Inspection - After the fill emplacement is started and before the vertical height of the lifts exceeds 10 feet.
(e) Drainage Device Inspection - After forms and pipe are in place and before any concrete is poured.
(f) Rough Grading - When all rough grading has been completed.
(g) Final Inspection - When all work, including installation of all drainage structures and other protective devices, has been completed and the as-graded plan and required reports have been submitted.
17. In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the Building Official in accordance with the City of Rolling Hills Estates Building Code.
18. Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required by the City of Rolling Hills Estates Building Code.
19. All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval.
20. The grading contractor shall submit the statement to the grading inspector as required by the City of Rolling Hills Estates Building Code at the completion of rough grading.
21. Final grading must be approved before occupancy of buildings will be allowed per the City of Rolling Hills Estates Building Code.

DRAINAGE NOTES

- 22. Roof drainage must be diverted from graded slopes.
23. Provisions shall be made for contributory drainage at all times.
24. All construction and grading within a storm drain easement are to be done per Private Drain PD No. \_\_\_\_\_ or miscellaneous Transfer Drain MTD No. \_\_\_\_\_.
25. All storm drain work is to be done under continuous inspection by the Field Engineer. Weekly status reports shall be submitted by the Field Engineer to the City Building Department.

AGENCY NOTES

- 26. Secure permission from City Engineer, State Highway Department or the Maintenance Association responsible for the private street, for construction, grading and/or discharge of drainage within street right-of-way.
27. An encroachment permit /connection permit is required from the County of Los Angeles Flood Control District for all work within the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit.
28. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire Station prior to commencing work.
29. All construction/demolition, grading, and storage of bulk materials must comply with the local AQMD rule 403 for Fugitive Dust. Information on rule 403 is available at AQMD's website http://www.avaqmd.com.



VICINITY MAP N.T.S.

GENERAL GEOTECHNICAL NOTES

- 30. All recommendations included in the consultant's soil and geology reports must be complied with and are a part of the grading specifications.
31. Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection reports to be submitted to the Building Official.
32. The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements.
33. Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must be included in the final geology report. Provide a final report statement that verifies work was done in accordance with report recommendations and code provisions. The final report(s) must be submitted to the Building Official for review and approval.
34. Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to the placing of steel or concrete.
35. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing or as approved by the geotechnical report.

FILL NOTES

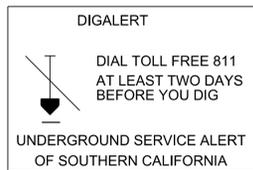
- 36. Fill shall be compacted to not less than 90% of maximum density as determined by A.S.T.M. soil compaction test D1557-latest version.
37. Field density shall be determined by Sand-Cone Method, A.S.T.M. D156-latest version. In fine-grained cohesive soils, field density may be determined by the Drive-Cylinder method, A.S.T.M. D-2937-latest version, provided not less than 20% of the required density tests, uniformly distributed, are by the Sand-Cone Method. The method determining field density shall be shown in the compaction report. Other methods may be used if recommended by the Soils Engineer and approved in advance by the Building Official.
38. Sufficient tests of soil properties, including soil types and shear strength, shall be made during grading operations to verify compliance with design criteria. The results of such testing shall be furnished to the Building Official upon completion of grading operations, or when necessitated by field conditions upon request of the Building Official. One field density test to be made as follows:
a. One test for each two-foot vertical lift.
b. One test for each 1,000 cubic yards of material placed.
c. One test will be made at point approximately one foot below the fill slope surface on the basis of one test for each 1,000 square feet of slope surface but not less than one test for each 10 feet of vertical slope height.
39. All trench backfills shall be tested and approved by the Soil Engineer.
40. No fill shall be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soils Engineer.
41. No rock or similar material greater than 6 inches in diameter will be placed in the fill unless recommendations for such placement have been submitted by the Soils Engineer and approved in advance by the Building Official.
42. Continuous inspection by the Soils Engineer or his responsible representative shall be provided during all fill placement and compaction operations where fills have a depth greater than 30 feet or a slope surface steeper than 2:1.
43. Continuous inspection by the Soils Engineer or his responsible representative shall be provided during all subdrain installations.
44. All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan.
45. Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will have equivalent effect.

SOILS ENGINEER & GEOLOGIST

RALPH STONE AND COMPANY, INC. 10954 SANTA MONICA BOULEVARD, LOS ANGELES, CA 90025 (310) 478-1501

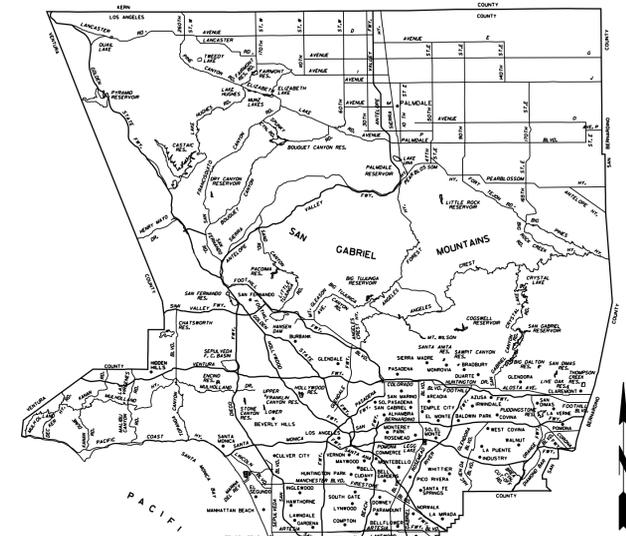
THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT DATED MARCH 20, 2013.

SIGNATURE DATE



LEGAL DESCRIPTION

L.A.C.A. MAP NO. 51, POR. 17 APN NUMBER: 7548-010-030



LOCATION MAP

LEGEND OF SHEETS

- C-1.0 TITLE SHEET
C-2.0 GRADING AND DRAINAGE PLAN
C-2.1 GRADING AND DRAINAGE PLAN

PLANTING AND IRRIGATION NOTES

- 46. Planting and irrigation on graded slopes must comply with the following minimum guidelines:
a. The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage by erosion by planting with grass or groundcover plants. Slopes exceeding 15 feet in vertical height shall also be planted with shrubs, spaced at not to exceed 10 feet on centers; or trees, spaced at not to exceed 20 feet on centers, or a combination of shrubs and trees at equivalent spacing, in addition to the grass or groundcover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site. Plant material shall be selected which will produce a coverage of permanent planting effectively controlling erosion. Consideration shall be given to deep-rooted planting material needing limited maintenance, high root to shoot ratio, wind susceptibility and fire-retardant characteristics. All plant materials must be approved by the building official.
Note: Planting may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will provide a permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation.
b. Slopes required to be planted by Section J110.3 shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. Irrigation system plans shall be submitted and approved prior to installation. A functional test of the system may be required. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations where a hose no longer than 50 feet is necessary for irrigation. The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of plants selected, the planting methods used and the soil and climatic conditions at the site, irrigation will not be necessary for the maintenance of the slope planting.
c. Other governmental agencies may have additional requirements for landscaping and irrigation. It is the responsibility of the applicant to coordinate with other agencies to meet their requirements while maintaining compliance with the City of Rolling Hills Estates Building Code.
47. The planting and irrigation systems shall be installed as soon as practical after rough grading. Prior to final grading approval all required slope planting must be well established.
48. Landscape irrigation system shall be designed and maintained to prevent spray on structures.

PROJECT INFORMATION

(General Information)
Grading Permit Application No. GR \_\_\_\_\_
Earthwork Volumes Cut = 1266 (cy), Fill = 1269 (cy)
Over Excavation/ Alluvial Removal & Compaction = 1356 (cy)
Import = 3 (cy), Export Location: balanced on site
Total Disturbed Area 1.1727 (Acres)
Total Proposed Landscape Area \_\_\_\_\_ Square Feet
Total Turf Area \_\_\_\_\_ % (Percent of Total Proposed Landscaping)
Total Drought Tolerant Landscaping Area \_\_\_\_\_ % (Percent of Total Proposed Landscaping)
Pre-Development Impervious area = 0.572 (Acres)
Post-Development Impervious area = 0.757 (Acres)
Waste Discharge Identification Number (WDID #) \_\_\_\_\_
Construction & Demolition Debris Recycling and Reuse Plan (RPP ID) \_\_\_\_\_
Grading start date \_\_\_\_\_
Construction completion date \_\_\_\_\_
(Property Information)
Property Address 26438 Crenshaw Blvd., Rolling Hills Estates, CA 90274
Tract / Parcel Map No. RHE \_\_\_\_\_ Lot/Parcel No. \_\_\_\_\_
Property Owner Rolling Hills United Methodist Church
Assessors ID Number(s) \_\_\_\_\_
(Zoning, Regional Planning, and other Agency Information)
Property Zoning \_\_\_\_\_
Intended Land Use \_\_\_\_\_

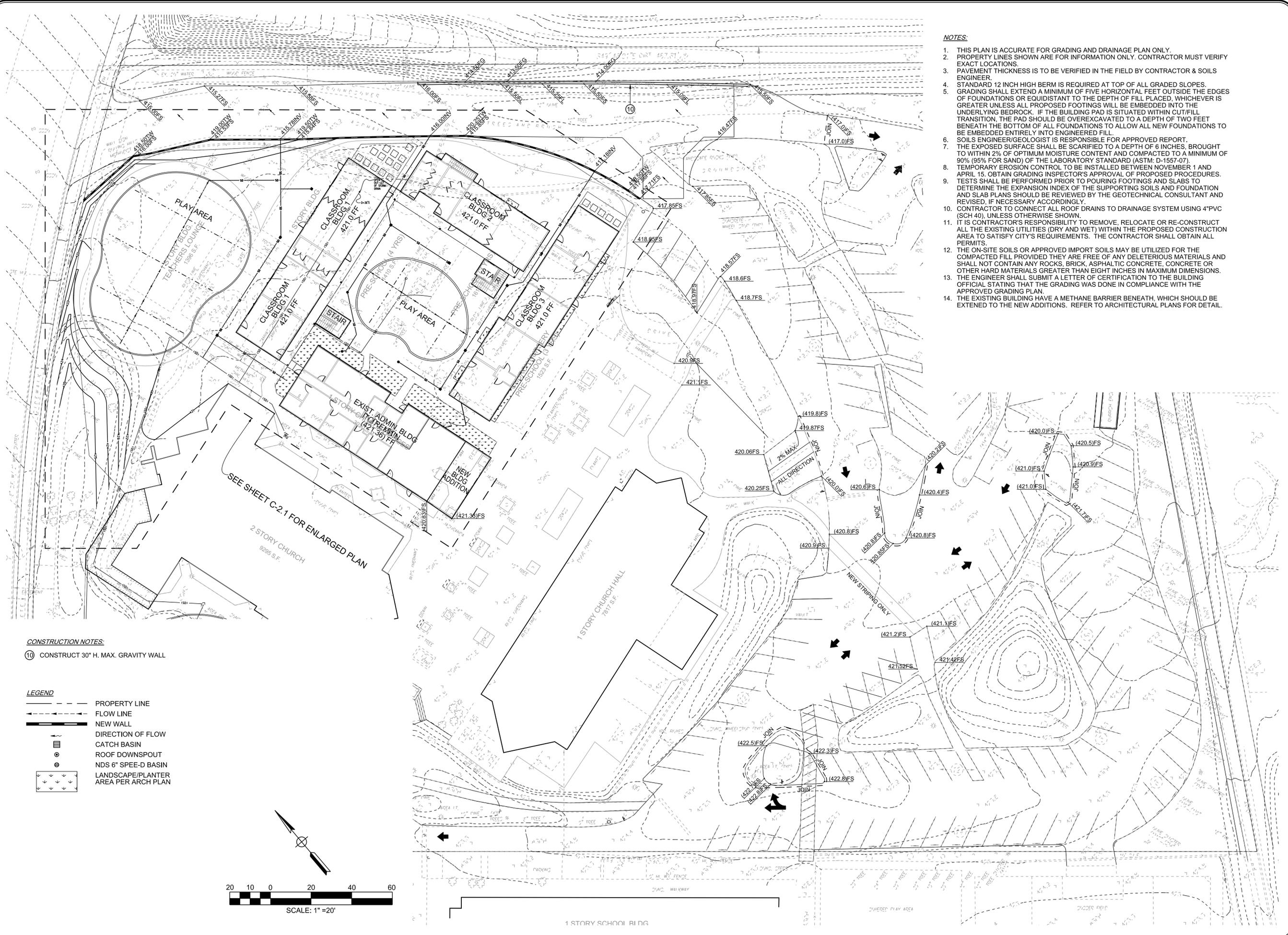
Table with columns: NO., REVISIONS, PLANNING SUBMITTAL, DATE, BY. Includes entry for 2013.04.11 by KK.



JMC Civil Engineering & Surveying John M. Crivellano Consultants, Inc. 411 N. Harbor Blvd, Suite 201 San Pedro, CA 90731 P: 310.241.6650 / F: 310.833.6555 www.jmc-2.com

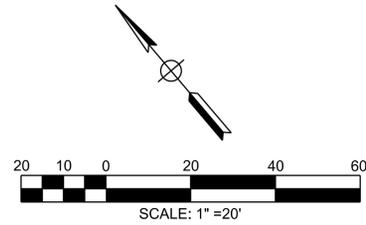
PROJECT R.H. UNITED METHODIST CHURCH 26438 Crenshaw Blvd., Rolling Hills Estates, CA 90274 SHEET TITLE TITLE SHEET

Table with columns: PROJECT NO., SCALE, DATE, DESIGNED BY, DRAWN BY, CHECKED BY, SHEET NO. Values include 20130016.00, As Shown, March 31, 2014, KK, LK, LFJ, C-1.



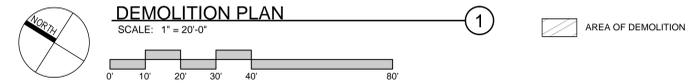
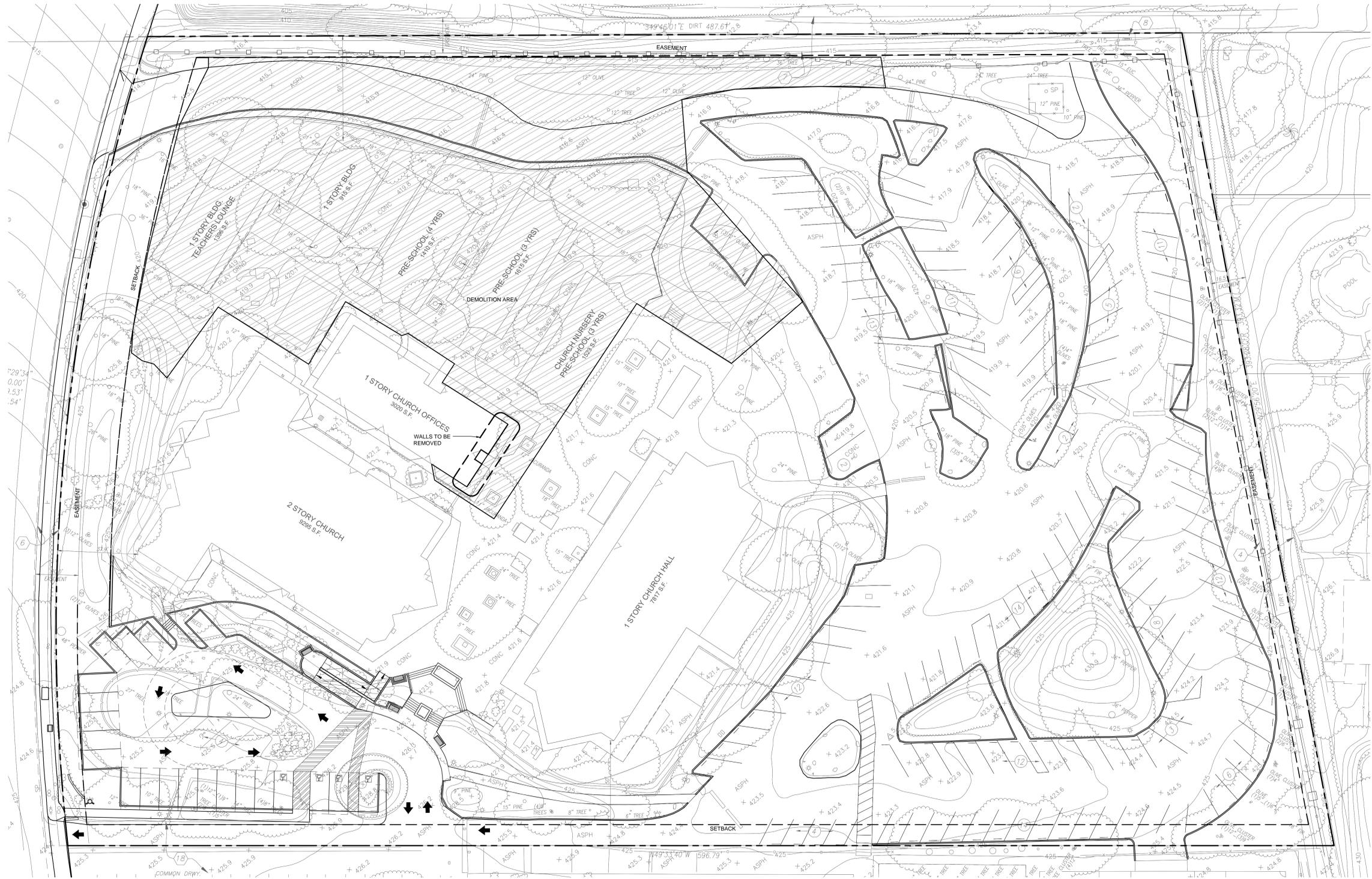
- NOTES:**
1. THIS PLAN IS ACCURATE FOR GRADING AND DRAINAGE PLAN ONLY.
  2. PROPERTY LINES SHOWN ARE FOR INFORMATION ONLY. CONTRACTOR MUST VERIFY EXACT LOCATIONS.
  3. PAVEMENT THICKNESS IS TO BE VERIFIED IN THE FIELD BY CONTRACTOR & SOILS ENGINEER.
  4. STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
  5. GRADING SHALL EXTEND A MINIMUM OF FIVE HORIZONTAL FEET OUTSIDE THE EDGES OF FOUNDATIONS OR EQUIDISTANT TO THE DEPTH OF FILL PLACED, WHICHEVER IS GREATER UNLESS ALL PROPOSED FOOTINGS WILL BE EMBEDDED INTO THE UNDERLYING BEDROCK. IF THE BUILDING PAD IS SITUATED WITHIN CUT/FILL TRANSITION, THE PAD SHOULD BE OVEREXCAVATED TO A DEPTH OF TWO FEET BENEATH THE BOTTOM OF ALL FOUNDATIONS TO ALLOW ALL NEW FOUNDATIONS TO BE EMBEDDED ENTIRELY INTO ENGINEERED FILL.
  6. SOILS ENGINEER/GEOLOGIST IS RESPONSIBLE FOR APPROVED REPORT.
  7. THE EXPOSED SURFACE SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES, BROUGHT TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 90% (95% FOR SAND) OF THE LABORATORY STANDARD (ASTM: D-1557-07).
  8. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN NOVEMBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S APPROVAL OF PROPOSED PROCEDURES.
  9. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS AND FOUNDATION AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED IF NECESSARY ACCORDINGLY.
  10. CONTRACTOR TO CONNECT ALL ROOF DRAINS TO DRAINAGE SYSTEM USING 4" PVC (SCH 40), UNLESS OTHERWISE SHOWN.
  11. IT IS CONTRACTOR'S RESPONSIBILITY TO REMOVE, RELOCATE OR RE-CONSTRUCT ALL THE EXISTING UTILITIES (DRY AND WET) WITHIN THE PROPOSED CONSTRUCTION AREA TO SATISFY CITY'S REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL PERMITS.
  12. THE ON-SITE SOILS OR APPROVED IMPORT SOILS MAY BE UTILIZED FOR THE COMPACTED FILL PROVIDED THEY ARE FREE OF ANY DELETERIOUS MATERIALS AND SHALL NOT CONTAIN ANY ROCKS, BRICK, ASPHALTIC CONCRETE, CONCRETE OR OTHER HARD MATERIALS GREATER THAN EIGHT INCHES IN MAXIMUM DIMENSIONS. THE ENGINEER SHALL SUBMIT A LETTER OF CERTIFICATION TO THE BUILDING OFFICIAL STATING THAT THE GRADING WAS DONE IN COMPLIANCE WITH THE APPROVED GRADING PLAN.
  13. THE EXISTING BUILDING HAVE A METHANE BARRIER BENEATH, WHICH SHOULD BE EXTENDED TO THE NEW ADDITIONS. REFER TO ARCHITECTURAL PLANS FOR DETAIL.

- CONSTRUCTION NOTES:**
- ⑩ CONSTRUCT 30" H. MAX. GRAVITY WALL
- LEGEND**
- PROPERTY LINE
  - FLOW LINE
  - NEW WALL
  - DIRECTION OF FLOW
  - CATCH BASIN
  - ROOF DOWNSPOUT
  - NDS 6" SPEE-D BASIN
  - LANDSCAPE/PLANTER AREA PER ARCH PLAN



PROJECT	R.H. UNITED METHODIST CHURCH 26438 Crenshaw Blvd., Rolling Hills Estates, CA 90274
PROJECT NO.	20130016.00
SCALE	As Shown
DATE	March 31, 2014
DESIGNED BY	KK
DRAWN BY	KK
CHECKED BY	LFJ
SHEET NO.	C-2.0
<p>PLANS PREPARED BY: <b>JMC</b> Civil Engineering &amp; Surveying John M. Crutshank Consultants, Inc. 411 N. Harbor Blvd., Suite 201 San Pedro, CA 90731 P: 310.241.6550 / F: 310.833.6555 www.jmc-2.com</p>	
NO.	PLANNING SUBMITTAL
REVISIONS:	
BY:	KK
DATE:	2013.04.11





**DEMOLITION PLAN**  
SCALE: 1" = 20'-0"

1

**UNITED METHODIST CHURCH PHASE 2**

REVISION LOG	DELTA NO.	DATE
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DATE:	5/9/14
DRAWN:	--
JOB #:	12-036
SHEET NO.:	

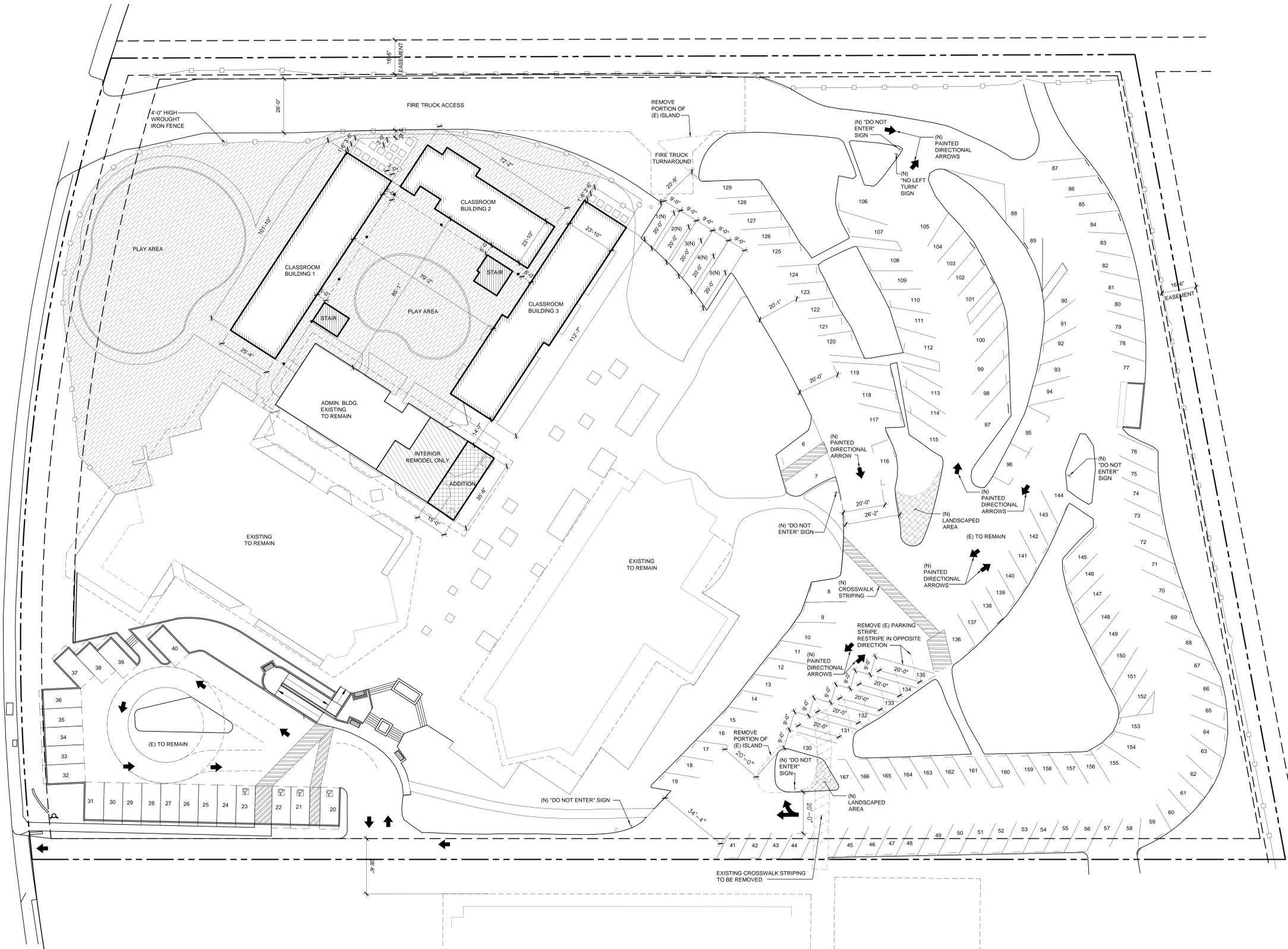
The owner hereby certifies that this plan and accompanying information were prepared by the architect or registered professional engineer or registered professional land surveyor named herein, and that the same comply with the requirements of the State of California, and that the same are true and correct to the best of the knowledge and belief of the architect or registered professional engineer or registered professional land surveyor named herein, and that the same are not in violation of any applicable laws, rules, regulations, or codes of practice.

DD SET

REVISION LOG  
 DELTA NO. DATE

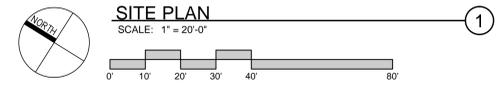



DATE: 5/9/14  
 DRAWN: --  
 JOB #: 12-036  
 SHEET NO.



AREA CALCULATIONS IN SF

ADMINISTRATION BUILDING	EXISTING	REMODELED	ADDITION	TOTAL
	3,020	836	540	3,560
LENGTH OF DEMOLISHED WALL:				43'-8"
PRE-SCHOOL BUILDINGS	BASEMENT	FIRST	SECOND	TOTAL
BUILDING 1	0	2,445	1,240	3,685
BUILDING 2	1,360	1,735	2,056	5,151
BUILDING 3	0	2,685	0	2,688
TOTAL	-	-	-	11,524
PRE-SCHOOL BUILDINGS TO BE DEMOLISHED:				6,859 S.F.

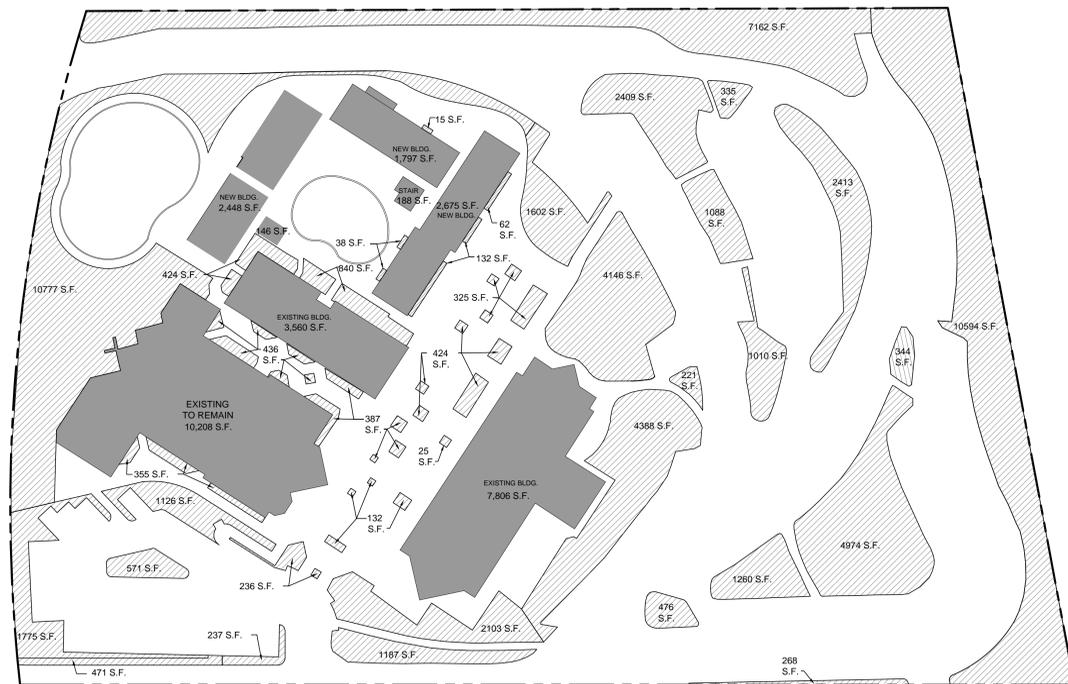


- AREA OF REMODEL
- AREA OF ADDITION
- EXTERIOR OPEN SPACE FOR PRESCHOOL 23,125 S.F.
- (N) LANDSCAPING

CRENSHAW BOULEVARD

The Architect, Engineer, Planner, Designer and other professionals responsible for the preparation and content of this document warrant that the information contained herein is true and correct to the best of their knowledge and belief. The Architect, Engineer, Planner, Designer and other professionals do not warrant the accuracy or completeness of the information contained herein. The Architect, Engineer, Planner, Designer and other professionals shall not be held responsible for any errors or omissions in this document. The Architect, Engineer, Planner, Designer and other professionals shall not be held responsible for any damages, including consequential damages, arising from the use of this document. The Architect, Engineer, Planner, Designer and other professionals shall not be held responsible for any claims, damages, losses, or expenses, including reasonable attorneys' fees, arising from the use of this document. The Architect, Engineer, Planner, Designer and other professionals shall not be held responsible for any claims, damages, losses, or expenses, including reasonable attorneys' fees, arising from the use of this document.

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**LANDSCAPING DIAGRAM**

SCALE: N.T.S.

-  LANDSCAPING AREA
-  BUILDINGS

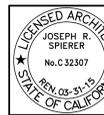
1

LOT SIZE: 214,367 S.F.  
 LANDSCAPING AREA: 64,768 S.F. / 214,367 S.F.  
 30.02% OF LOT AREA (30% REQUIRED)  
 PARKING SPACES PROVIDED: 162 EXISTING SPACES  
 5 NEW SPACES  
 167 TOTAL SPACES



**UNITED METHODIST CHURCH PHASE 2**

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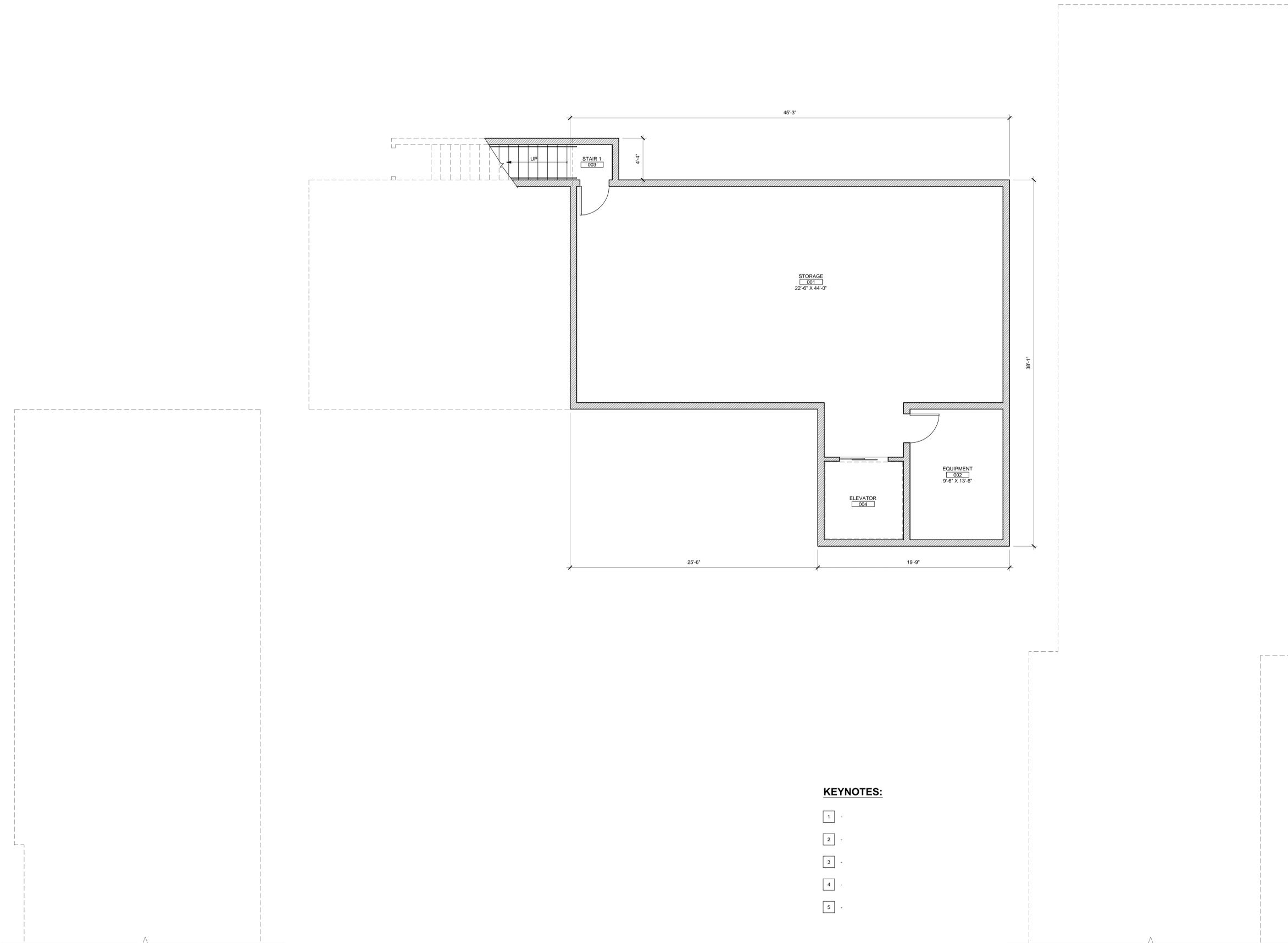


DATE: 5/9/14  
 DRAWN: --  
 JOB #: 12-036  
 SHEET NO.

**A-1.2**

The drawings, specifications, notes, reports and programs herein represent the professional design of the architect. The architect shall not be responsible for the construction of the project or for the performance of the contractor. The architect shall not be responsible for the construction of the project or for the performance of the contractor. The architect shall not be responsible for the construction of the project or for the performance of the contractor.

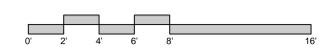
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**KEYNOTES:**

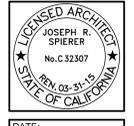
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**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**UNITED METHODIST CHURCH PHASE 2**

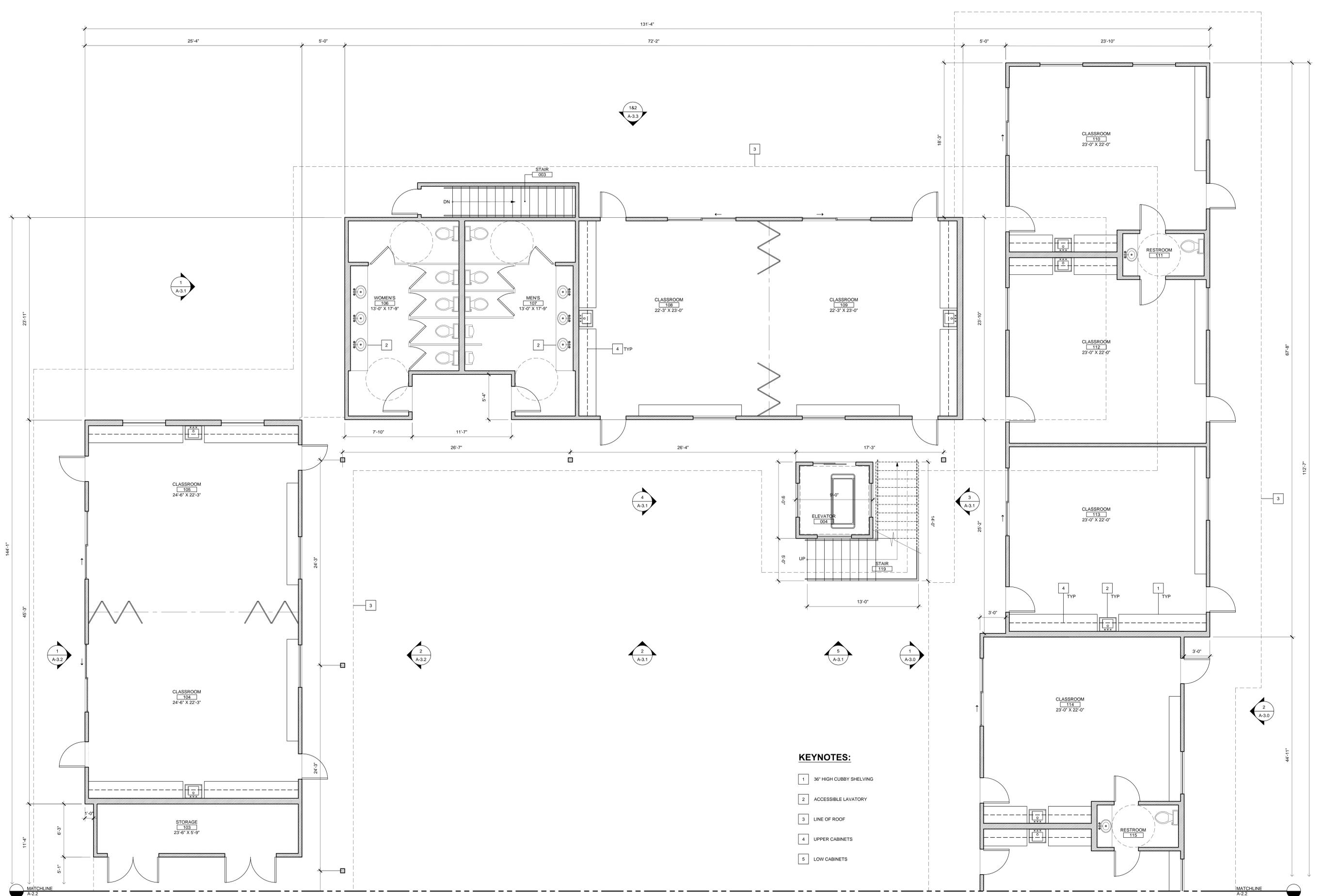
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DATE:	5/9/14
DRAWN:	--
JOB #:	12-036
SHEET NO.	

The license holder certifies that these drawings were prepared by the holder or under the direct supervision and control of the holder. The holder is responsible for the accuracy and completeness of the information shown on these drawings. The holder is not responsible for the accuracy or completeness of the information provided by others. The holder is not responsible for the accuracy or completeness of the information provided by others. The holder is not responsible for the accuracy or completeness of the information provided by others.

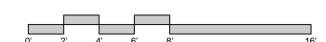
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**KEYNOTES:**

- 1 36" HIGH CUBBY SHELVING
- 2 ACCESSIBLE LAVATORY
- 3 LINE OF ROOF
- 4 UPPER CABINETS
- 5 LOW CABINETS

**PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**UNITED METHODIST CHURCH PHASE 2**

REVISION LOG	DELTA NO.	DATE



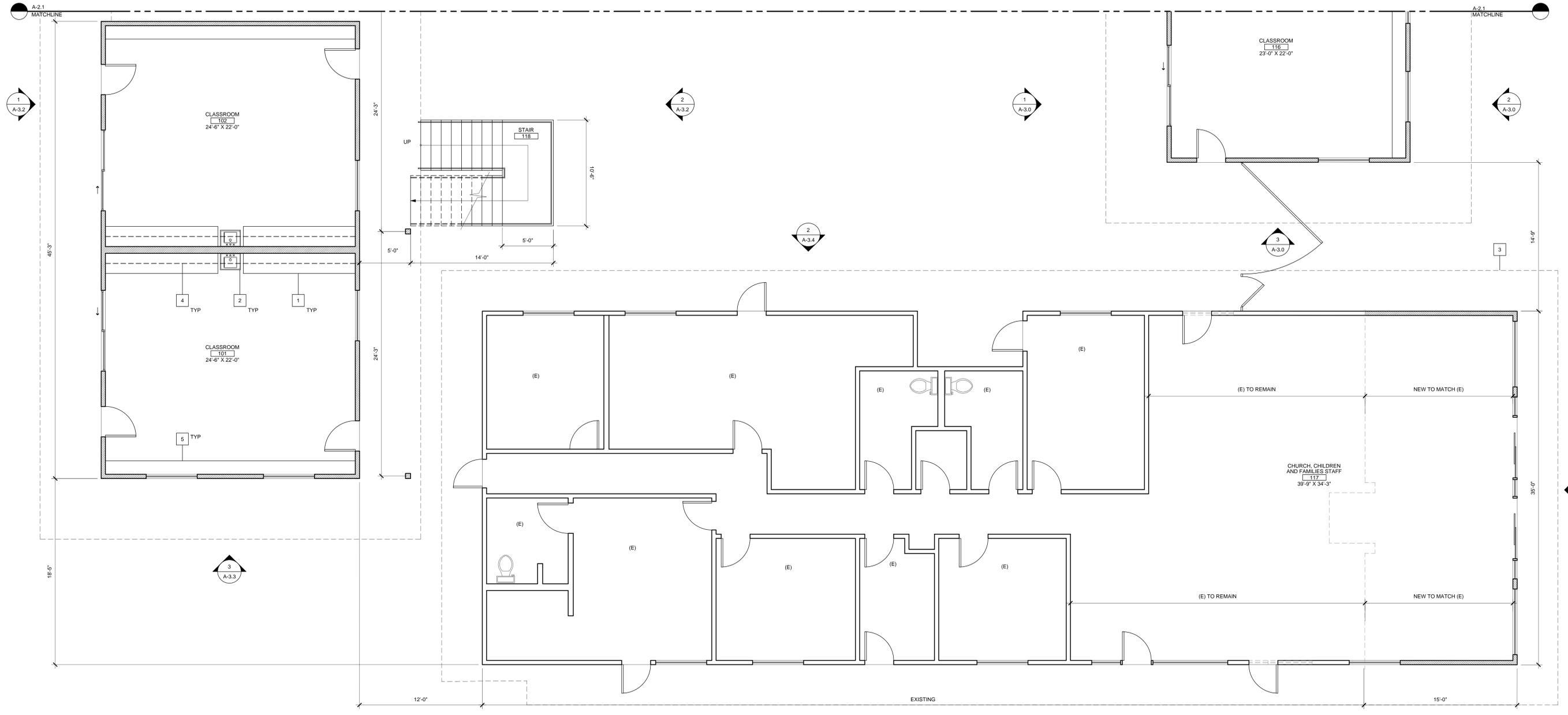
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JOB #:	12-036
SHEET NO.	

DD SET

The Architect, Architectural Firm, Engineer and contractor warrant that the work shown on these drawings was prepared by the Architect, Engineer, Architectural Firm, Engineer or contractor and that the work was done in accordance with the applicable laws and regulations of the State of California. The Architect, Architectural Firm, Engineer and contractor warrant that the work shown on these drawings was prepared by the Architect, Engineer, Architectural Firm, Engineer or contractor and that the work was done in accordance with the applicable laws and regulations of the State of California.



**UNITED METHODIST CHURCH PHASE 2**

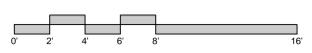


**KEYNOTES:**

- 1 36" HIGH CUBBY SHELVING
- 2 ACCESSIBLE LAVATORY
- 3 LINE OF ROOF
- 4 UPPER CABINETS
- 5 LOW CABINETS

- NEW WALL
- EXISTING WALL TO REMAIN

**PARTIAL FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



REVISION LOG	DELTA NO.	DATE

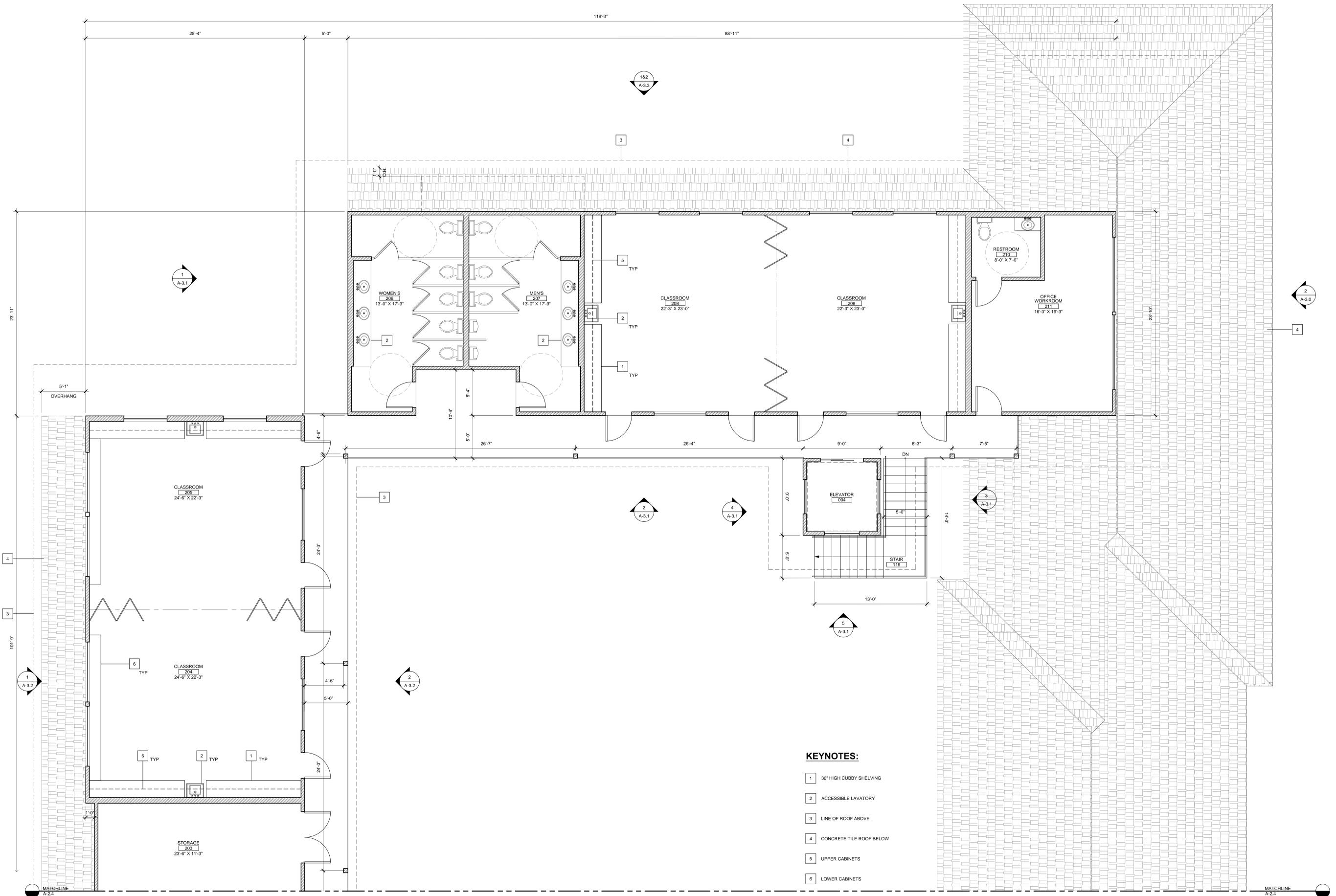


DATE: 5/9/14  
 DRAWN: --  
 JOB #: 12-036  
 SHEET NO.

**A-2.2**

DD SET

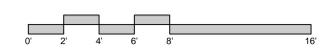
The owner warrants, certifies, and agrees to indemnify and hold the architect harmless from and against all claims, damages, and expenses, including reasonable attorney's fees, arising out of or from the use of the architectural drawings, specifications, and other documents prepared by the architect for the project, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of the architect. This agreement shall not be construed to limit the architect's liability for professional malpractice. The architect's liability shall not be limited by any limitation on the amount or type of damages, compensation, or benefits payable by or for an employee or other person entitled to compensation or benefits under any workers' compensation act, disability benefit act, or other employee benefit act. The architect's liability shall not be limited by any limitation on the amount or type of damages, compensation, or benefits payable by or for a third party under any contract or agreement. The architect's liability shall not be limited by any limitation on the amount or type of damages, compensation, or benefits payable by or for a third party under any contract or agreement. The architect's liability shall not be limited by any limitation on the amount or type of damages, compensation, or benefits payable by or for a third party under any contract or agreement.



**KEYNOTES:**

- 1 36" HIGH CUBBY SHELVING
- 2 ACCESSIBLE LAVATORY
- 3 LINE OF ROOF ABOVE
- 4 CONCRETE TILE ROOF BELOW
- 5 UPPER CABINETS
- 6 LOWER CABINETS

**PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



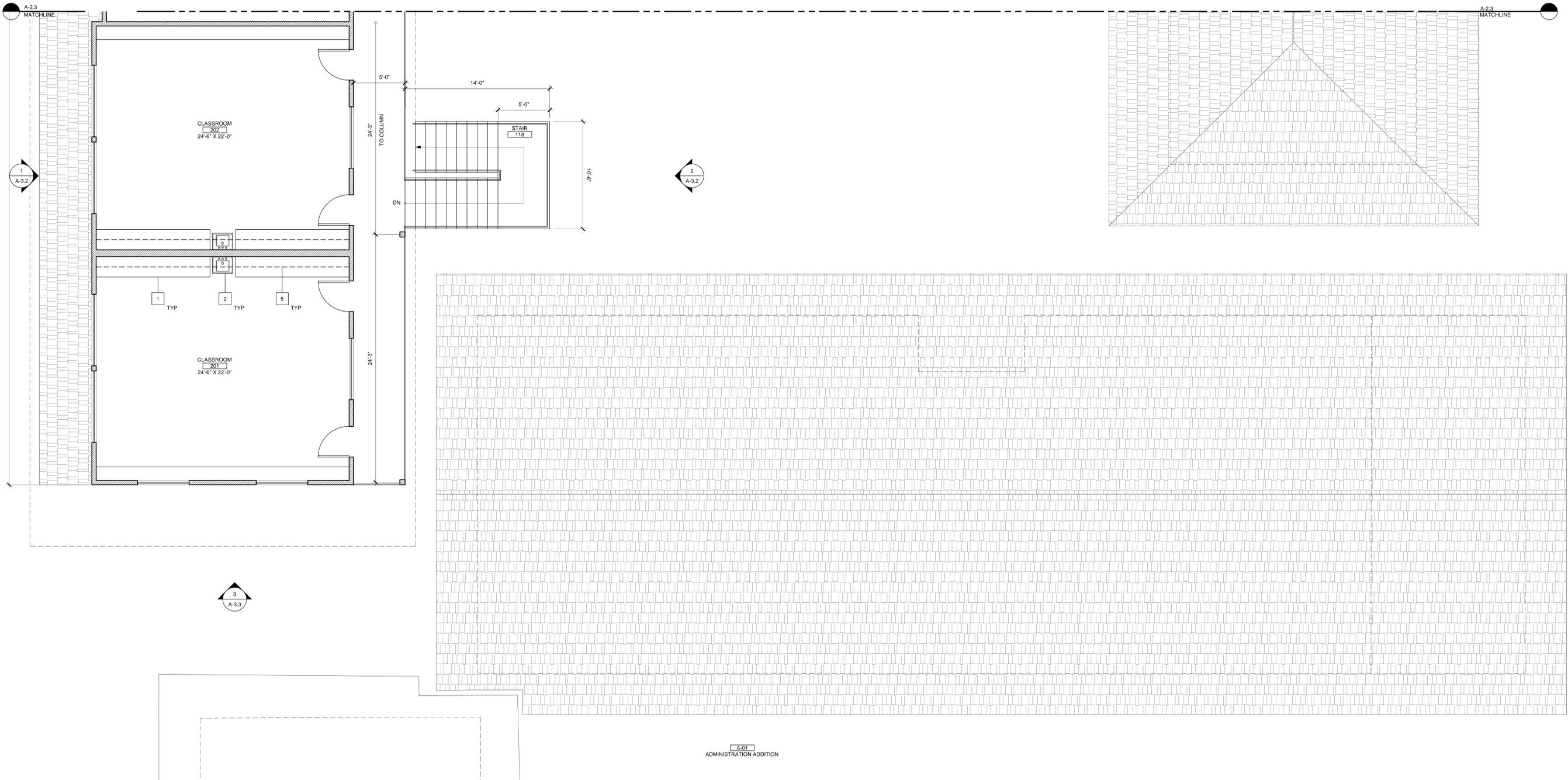
REVISION LOG	DELTA NO.	DATE



DATE:	5/9/14
DRAWN:	
JOB #:	12-036
SHEET NO.	

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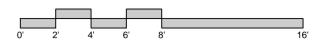
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**KEYNOTES:**

- 1 36" HIGH CUBBY SHELVING
- 2 ACCESSIBLE LAVATORY
- 3 LINE OF ROOF ABOVE
- 4 CONCRETE TILE ROOF BELOW
- 5 UPPER CABINETS
- 6 LOWER CABINETS

**PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



A-01  
ADMINISTRATION ADDITION



**UNITED METHODIST CHURCH PHASE 2**

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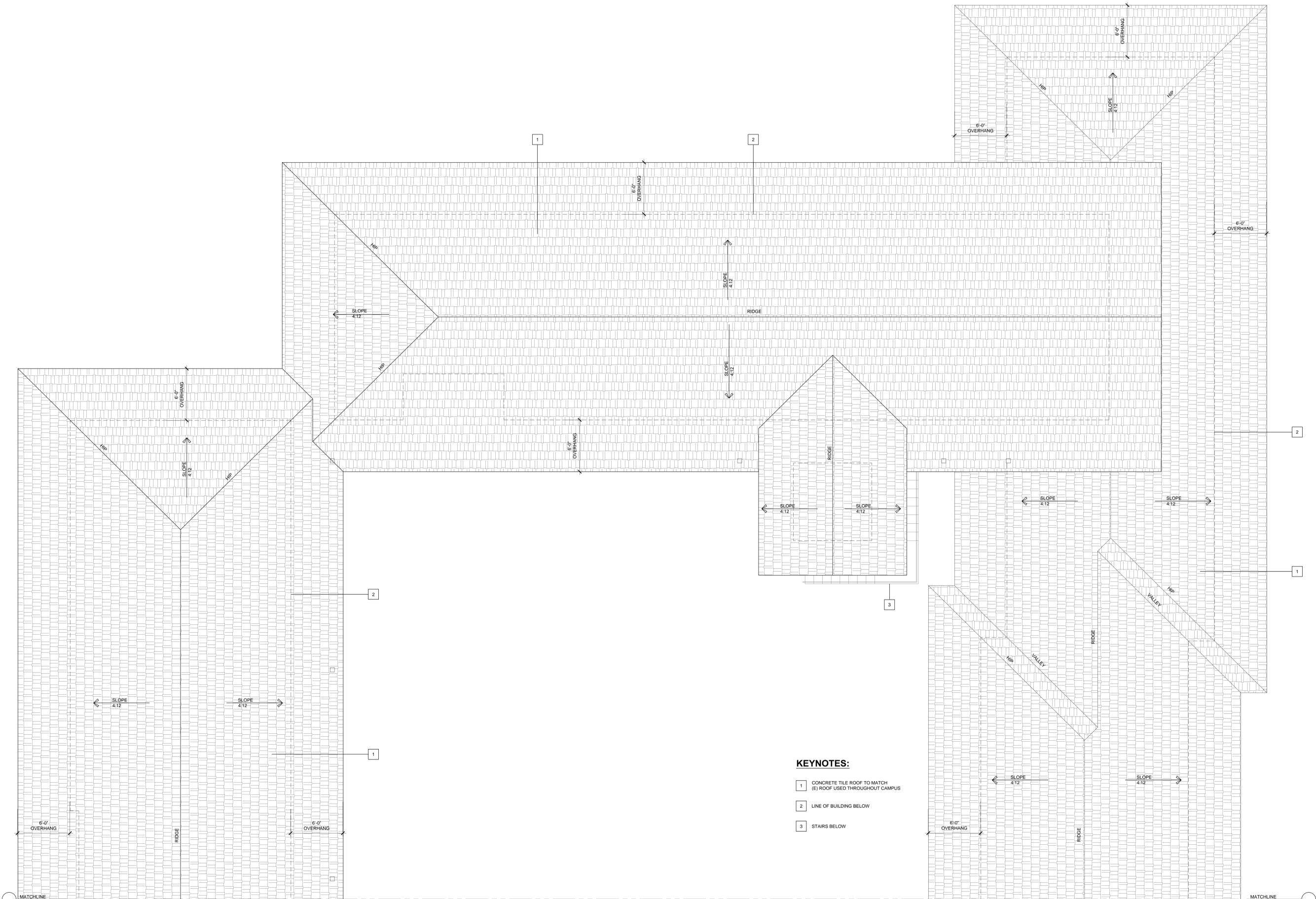


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- KEYNOTES:**
- 1 CONCRETE TILE ROOF TO MATCH (E) ROOF USED THROUGHOUT CAMPUS
  - 2 LINE OF BUILDING BELOW
  - 3 STAIRS BELOW

**PARTIAL ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**UNITED METHODIST CHURCH PHASE 2**

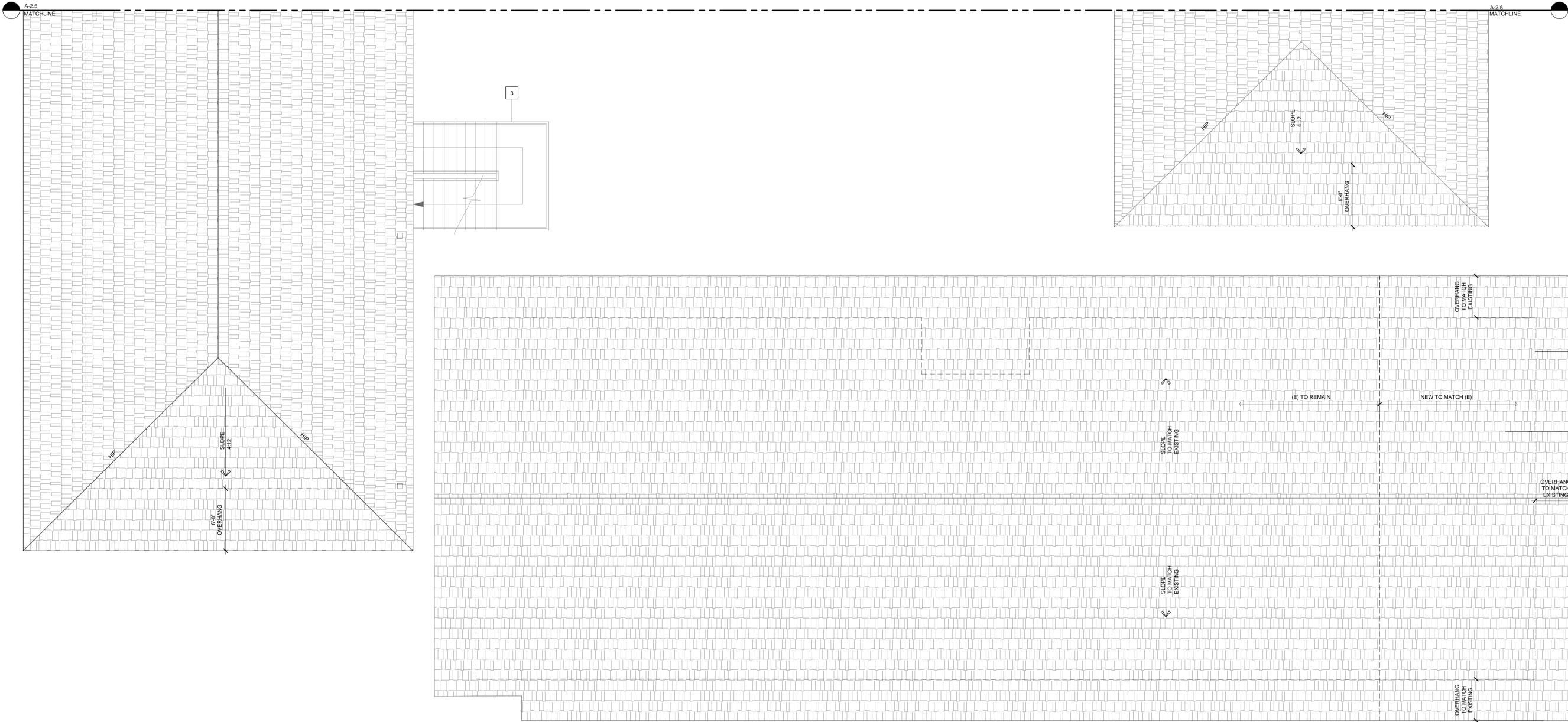
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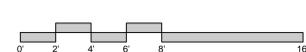
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**KEYNOTES:**

- 1 CONCRETE TILE ROOF TO MATCH (E) ROOF USED THROUGHOUT CAMPUS
- 2 LINE OF BUILDING BELOW
- 3 STAIRS BELOW

**PARTIAL ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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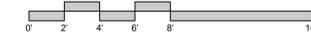
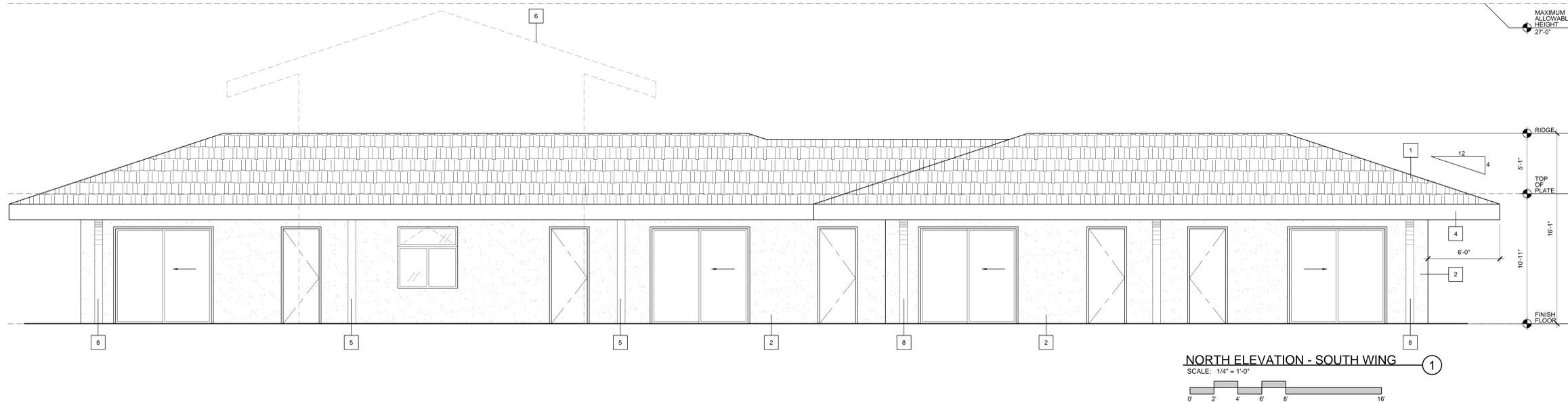
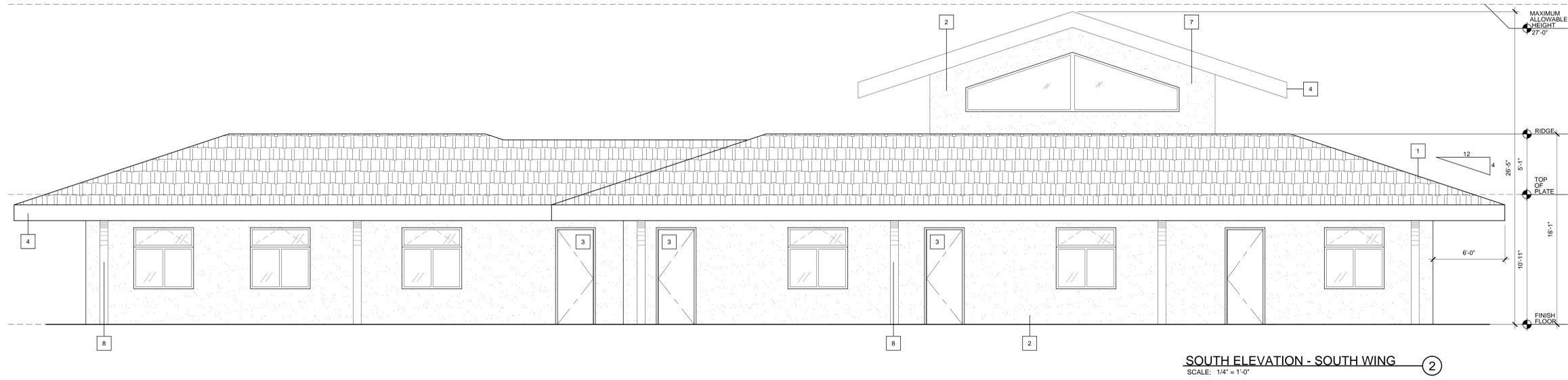
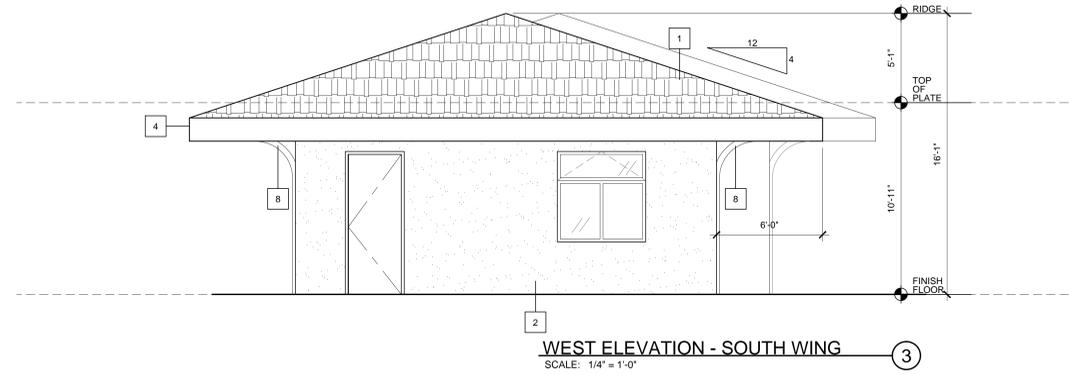
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**KEYNOTES:**

- 1 CONCRETE TILE ROOF
- 2 STUCCO FINISH
- 3 DOOR TO SOUND A LOCAL ALARM, CONNECTED TO CENTRAL ADMIN. WHEN OPENED
- 4 BOXED-IN EAVE TO MATCH STYLE OF (E) SACUARY
- 5 WOOD TRIM
- 6 2-STORY CLASSROOM BUILDING IN FOREGROUND
- 7 2-STORY CLASSROOM BUILDING IN BACKGROUND
- 8 ARCHED WOOD TRIM



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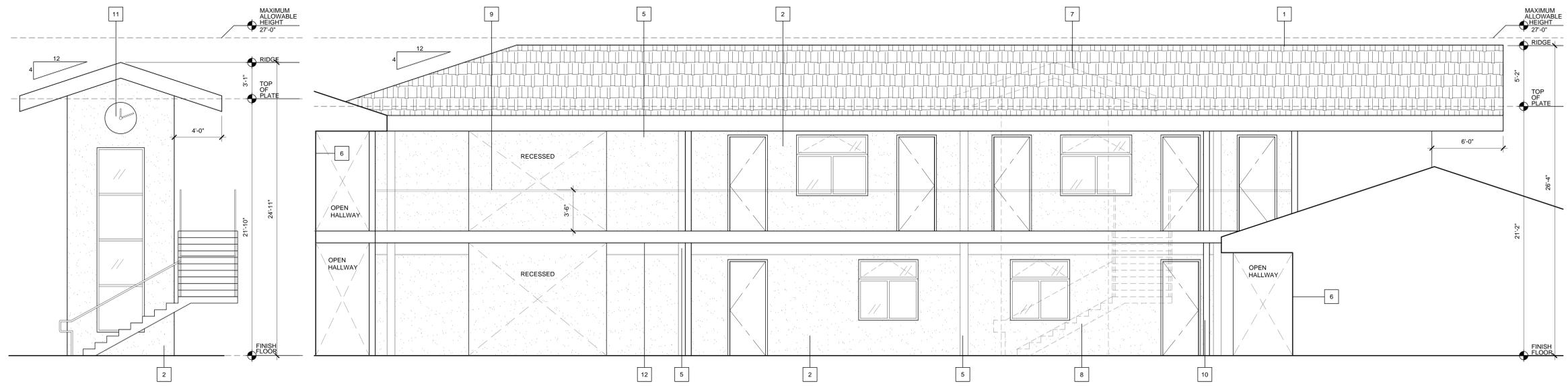
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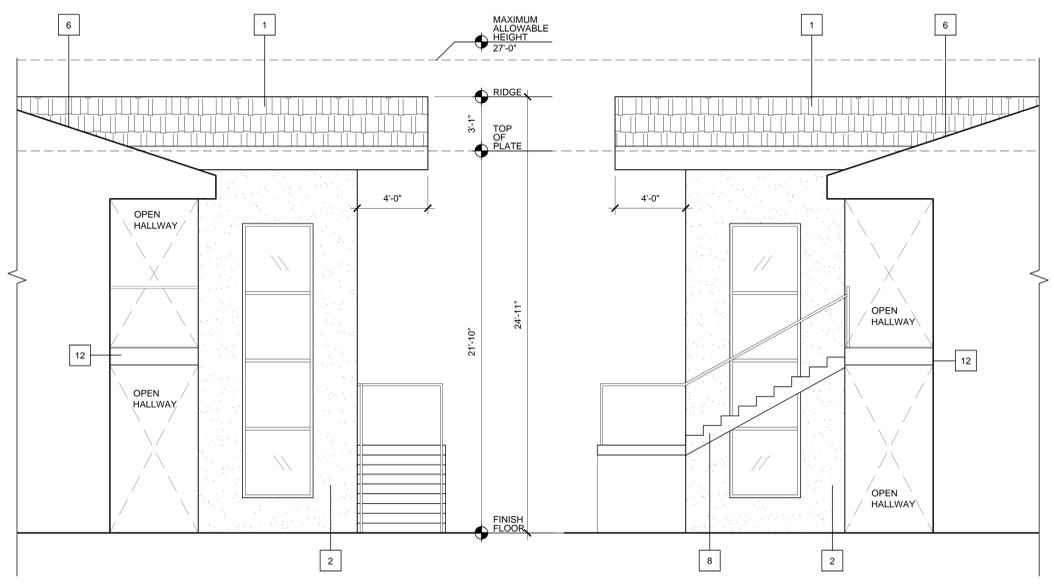


**WEST ELEVATION - ELEVATOR**  
 SCALE: 1/4" = 1'-0" (5)

**WEST ELEVATION - EAST WING**  
 SCALE: 1/4" = 1'-0" (2)

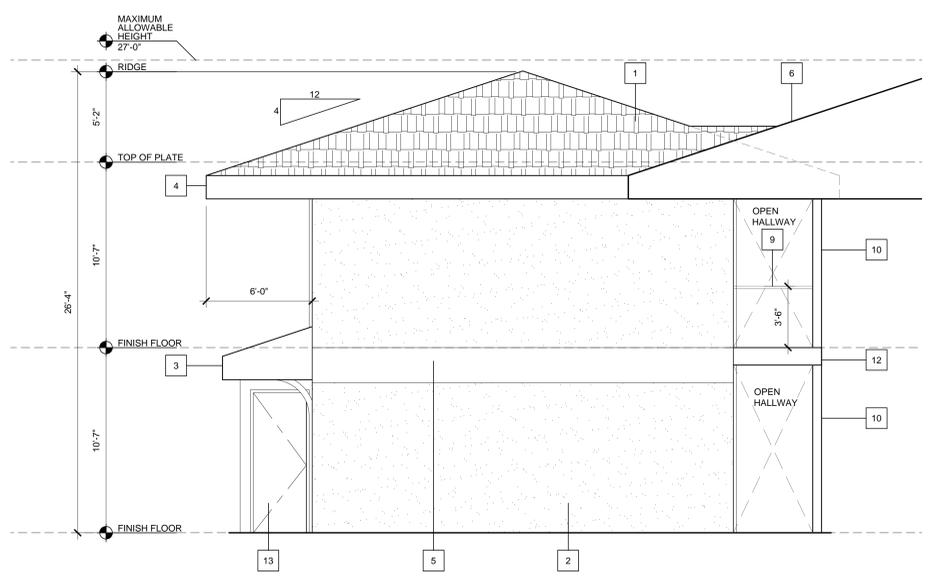
**KEYNOTES:**

- 1 CONCRETE TILE ROOF
- 2 STUCCO FINISH
- 3 LOWER ROOF OVER BASEMENT STAIR
- 4 BOXED-IN EAVE TO MATCH STYLE OF (E) SACUARY
- 5 WOOD TRIM
- 6 CLASSROOM BUILDING IN FOREGROUND
- 7 ELEVATOR TOWER IN FOREGROUND
- 8 STAIRS IN FOREGROUND
- 9 GUARDRAIL
- 10 COLUMN
- 11 CLOCK
- 12 BALCONY
- 13 DOOR TO BASEMENT

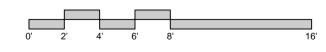


**NORTH ELEVATION - ELEVATOR**  
 SCALE: 1/4" = 1'-0" (4)

**SOUTH ELEVATION - ELEVATOR**  
 SCALE: 1/4" = 1'-0" (3)



**NORTH ELEVATION - EAST WING**  
 SCALE: 1/4" = 1'-0" (1)



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UNITED METHODIST CHURCH PHASE 2

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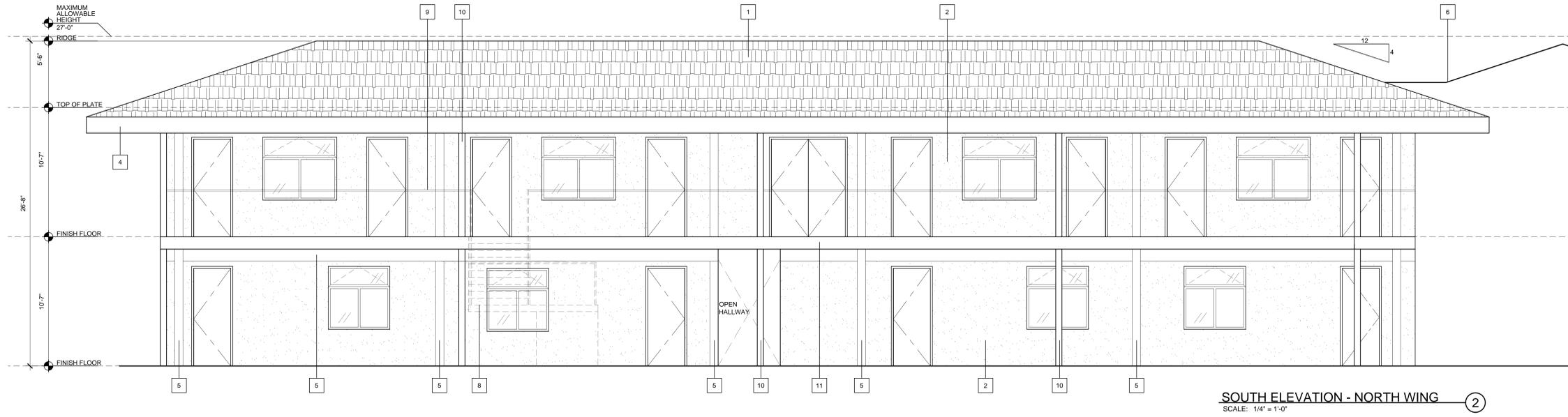
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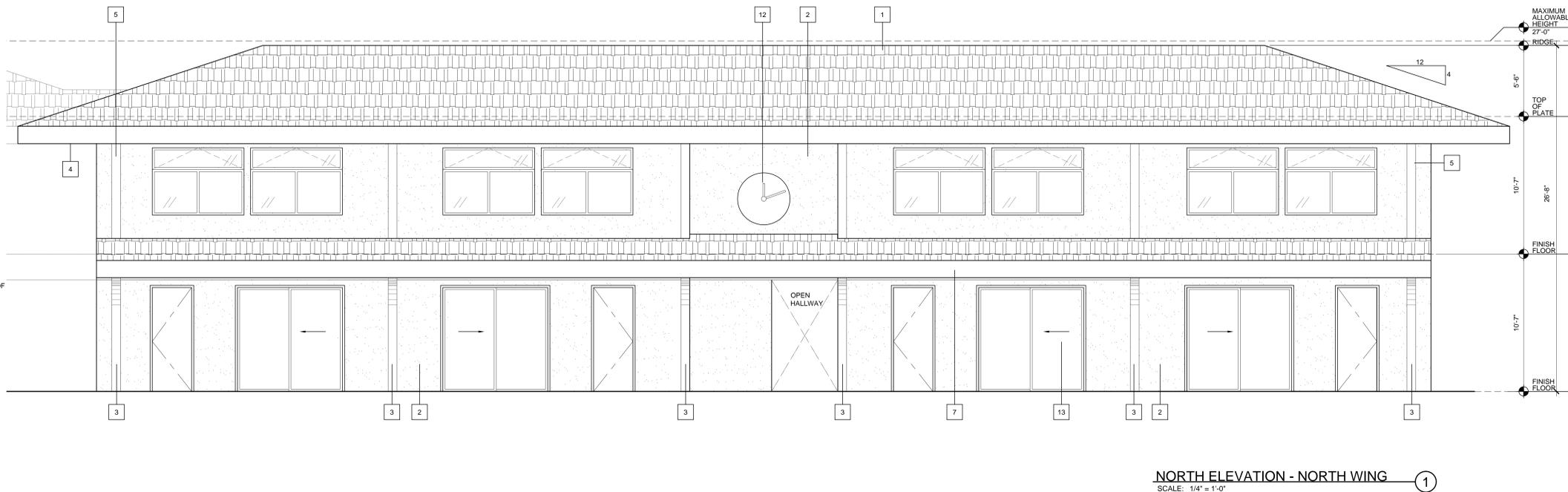
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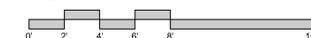


**KEYNOTES:**

- 1 CONCRETE TILE ROOF
- 2 STUCCO FINISH
- 3 ARCHED WOOD TRIM
- 4 BOXED-IN EAVE TO MATCH STYLE OF (E) SACTUARY
- 5 WOOD TRIM
- 6 CLASSROOM BUILDING IN FOREGROUND
- 7 LOWER CONCRETE TILE ROOF
- 8 STAIRS IN FOREGROUND
- 9 GUARDRAIL
- 10 COLUMN
- 11 BALCONY
- 12 CLOCK
- 13 SLIDING DOOR



**NORTH ELEVATION - NORTH WING** ①  
 SCALE: 1/4" = 1'-0"



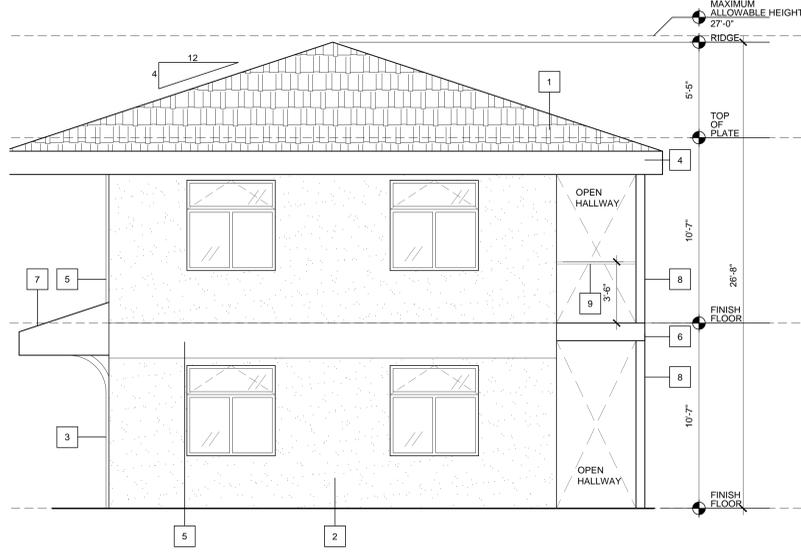
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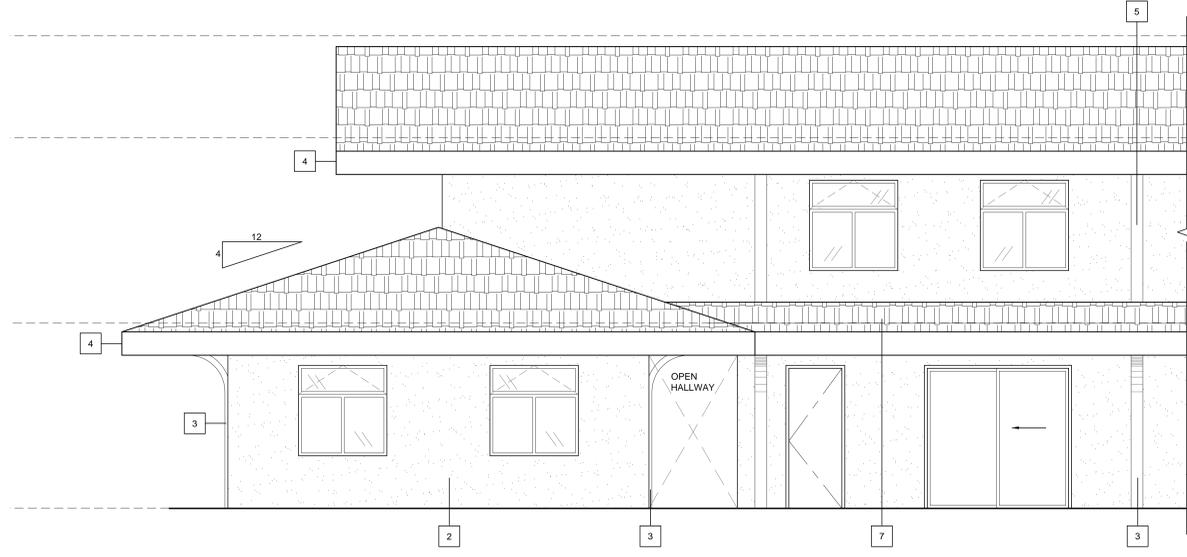
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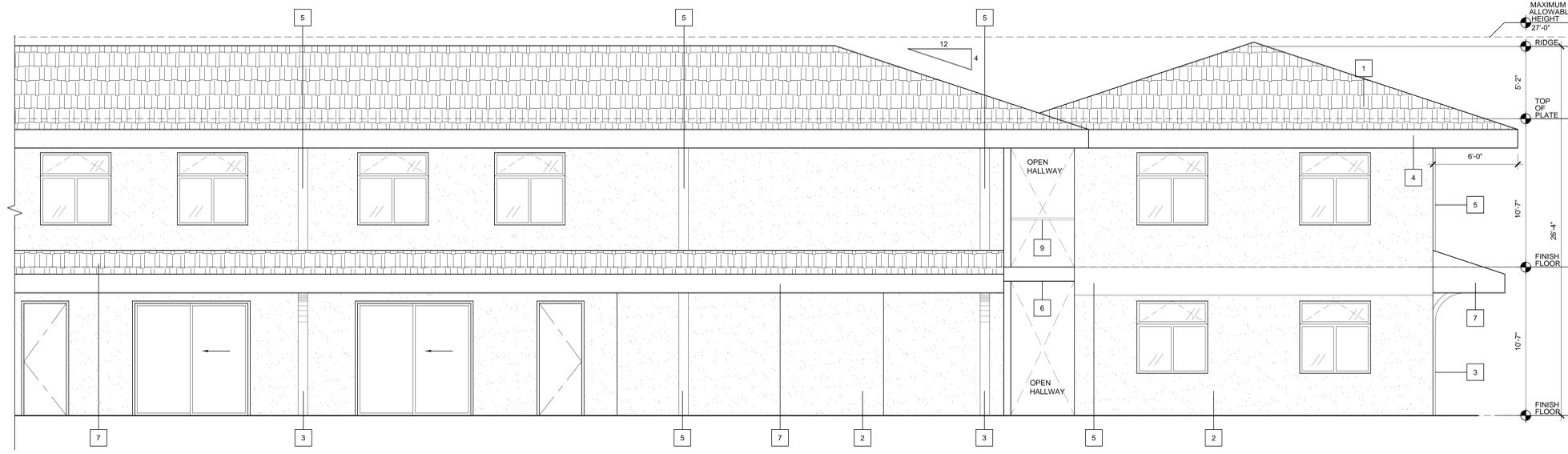
**WEST ELEVATION - NORTH WING** ③  
 SCALE: 1/4" = 1'-0"



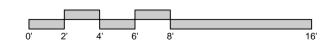
**EAST ELEVATION - EAST WING** ②  
 SCALE: 1/4" = 1'-0"

**KEYNOTES:**

- 1 CONCRETE TILE ROOF
- 2 STUCCO FINISH
- 3 ARCHED WOOD TRIM
- 4 BOXED-IN EAVE TO MATCH STYLE OF (E) SACUARY
- 5 WOOD TRIM
- 6 BALCONY
- 7 LOWER CONCRETE TILE ROOF
- 8 COLUMN
- 9 GUARDRAIL



**EAST ELEVATION - EAST WING** ①  
 SCALE: 1/4" = 1'-0"

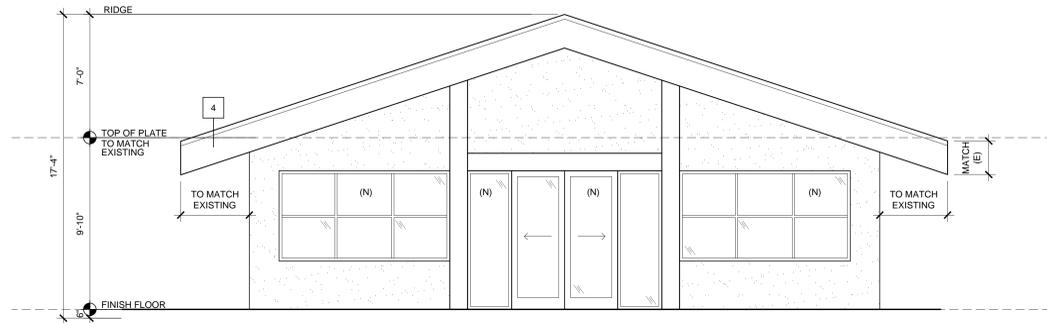


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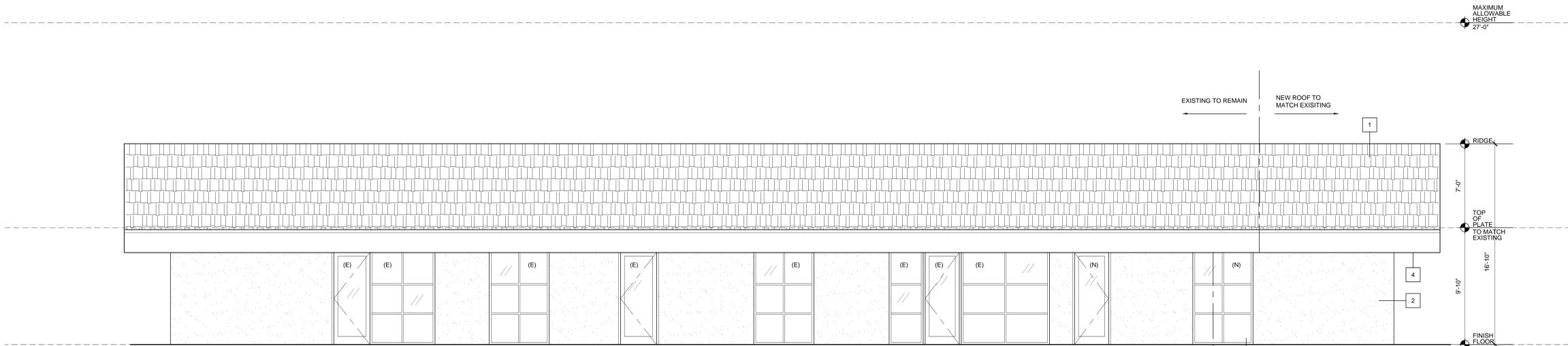
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**KEYNOTES:**

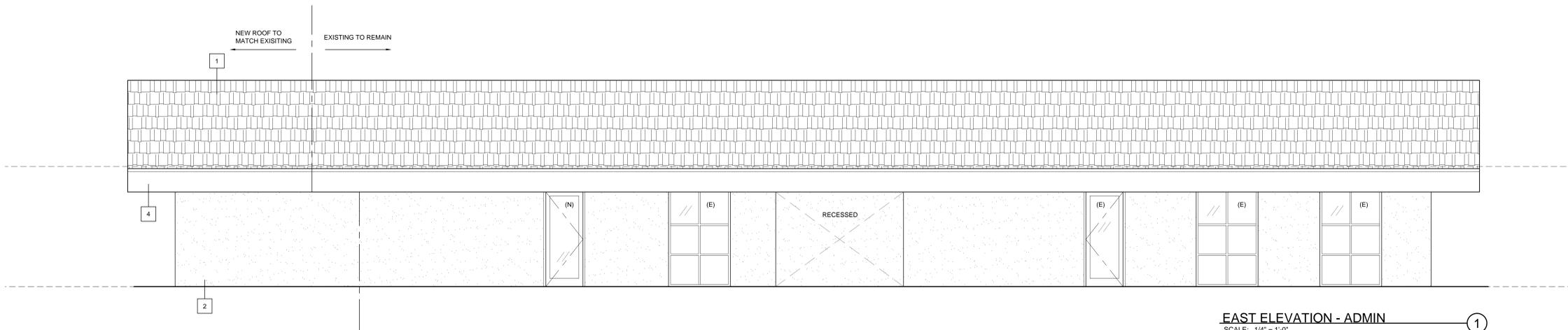
- 1 CONCRETE TILE ROOF TO MATCH EXISTING
- 2 STUCCO FINISH TO MATCH EXISTING
- 3 LOWER PANEL TO BE BLOCKOUT
- 4 BOXED-IN EAVE TO MATCH EXISTING



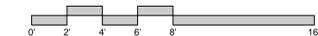
**SOUTH ELEVATION - ADMIN**  
SCALE: 1/4" = 1'-0" ③



**WEST ELEVATION - ADMIN**  
SCALE: 1/4" = 1'-0" ②



**EAST ELEVATION - ADMIN**  
SCALE: 1/4" = 1'-0" ①



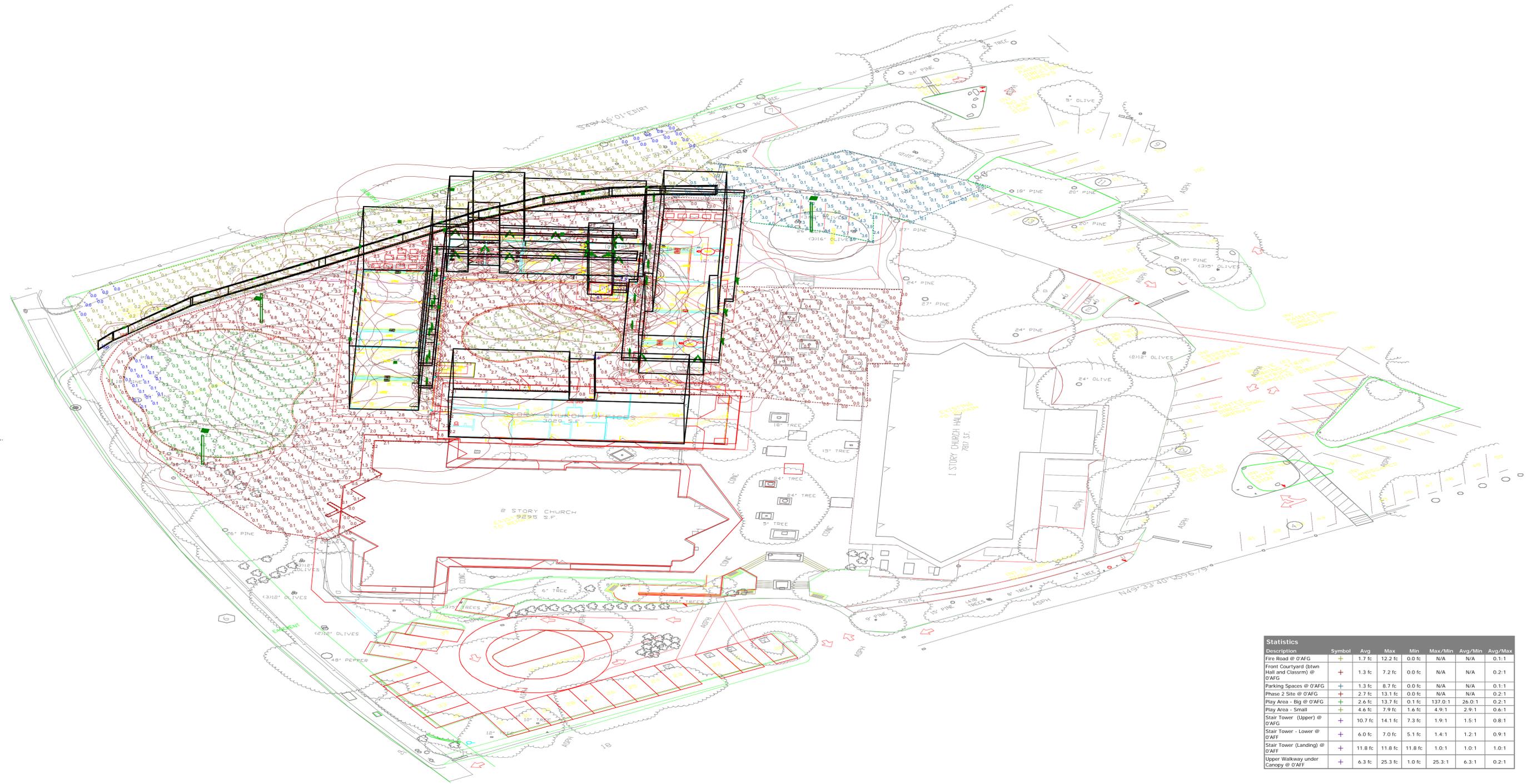
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South West View

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Fire Road @ 0'AFG	+	1.7 fc	12.2 fc	0.0 fc	N/A	N/A	0.1:1
Front Courtyard (btwn Hall and Classroom) @ 0'AFG	+	1.3 fc	7.2 fc	0.0 fc	N/A	N/A	0.2:1
Parking Spaces @ 0'AFG	+	1.3 fc	8.7 fc	0.0 fc	N/A	N/A	0.1:1
Phase 2 Site @ 0'AFG	+	2.7 fc	13.1 fc	0.0 fc	N/A	N/A	0.2:1
Play Area - Big @ 0'AFG	+	2.6 fc	13.7 fc	0.1 fc	137.0:1	26.0:1	0.2:1
Play Area - Small	+	4.6 fc	7.9 fc	1.6 fc	4.9:1	2.9:1	0.6:1
Stair Tower (Upper) @ 0'AFG	+	10.7 fc	14.1 fc	7.3 fc	1.9:1	1.5:1	0.8:1
Stair Tower - Lower @ 0'AFF	+	6.0 fc	7.0 fc	5.1 fc	1.4:1	1.2:1	0.9:1
Stair Tower (Landing) @ 0'AFF	+	11.8 fc	11.8 fc	11.8 fc	1.0:1	1.0:1	1.0:1
Upper Walkway under Canopy @ 0'AFF	+	6.3 fc	25.3 fc	1.0 fc	25.3:1	6.3:1	0.2:1

Luminaire Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	L1	10	CSXW LED 30C 1000 40K FTFM, Mounted Roof fascia at 20' AFG	CONTOUR SERIES LED WALL-MOUNT WITH 30 4000K LEDS, OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC FORWARD THROW LENS	LED	1	9480.078	0.9	104
	L2	9	WST LED 2 10A700/40K SR3 MVOLT Mounted at Stair/Clock Tower @ 17.5' AFG	WST LED WITH 2 MODULES, 20 LED'S, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	Outdoor Wall Pack Luminaire to IES LM-79-08, LUMINAIRE OUTPUT: 4035 Lms.	1	4055.095	0.9	47.1
	L3	28	ASLED-3027-12V-L0-8K5-F0-SHO-CN8 Mounted at walkways under canopy 1st floor @ 9.5' AFG, 2nd floor @ 19' AFG	ASPEN LED w/4th Gen LED16	LED16 - 6W/407FL/SK CW - 3X Nichia 219 w/Khatod Optic	1	-1	0.9	11.6
	L4	12	UEC-40571-W30, Mounted at Fire Road @ 3' AFG	Eco recessed location light LED	6 LED 3000K	6	85.44297	0.9	22.5
	P1-III	1	KAD LED 1 638530/40K SR3 mounted at Parking Spaces and Big Playground @ 12' AFG (Pole + Base)	KAD LED WITH HLM MODULE, 63 LED'S, 530mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	ONE 110-WATT LED, DOWNLIGHTPOS.	1	8595.025	0.9	110.9
	P1-IV	2	KAD LED 1 638530/40K SR4 mounted at Parking Spaces and Big Playground @ 12' AFG (Pole + Base)	CONTOUR SERIES LED AREA LUMINAIRE WITH 63 4000K LEDS OPERATED AT 350mA AND PRECISION MOLDED ACRYLIC TYPE IV LENS	ONE 109-WATT LED	1	8245.934	0.9	109



